

**Fwd: Burnstein Sagamore home**

Ted Bertele &lt;rooseveltridgebod@gmail.com&gt;

Fri 6/12/2020 5:17 PM

To: Jeffrey Keicher &lt;treasuresofriverbend@gmail.com&gt;

Cc: Ted Bertele &lt;tbertele@msn.com&gt;; Lee Mayberry &lt;lwmayberry@hotmail.com&gt;

 2 attachments (19 MB)

5 Sagamore Trail House PLAN SET.pdf; 5 Sagamore Trail Office PLAN SET.pdf;

Jeff - the Burnsteins sent the attached email to the Board. It's obviously a DRC matter.

If they are wanting a full review than they need to complete the submit tap forms and pay the fees, but not sure what they are actually seeking. We leave it in your capable hands.

Thanks,  
Mike

Sent from my iPhone

Begin forwarded message:

**From:** debby burnstein <skicliffs@hotmail.com>**Date:** June 11, 2020 at 1:20:17 PM CDT**To:** Roosevelt Ridge BOD <rooseveltridgebod@gmail.com>, Michael <michael.burnstein@hotmail.com>**Subject: Burnstein Sagamore home**

Please find attached plans for 5 Sagamore Trail – Burnstein

We are working on aesthetic changes to the home with the Architects but these are the construction documents for the house. We are also working on the survey for building footprint and will send that over very shortly.

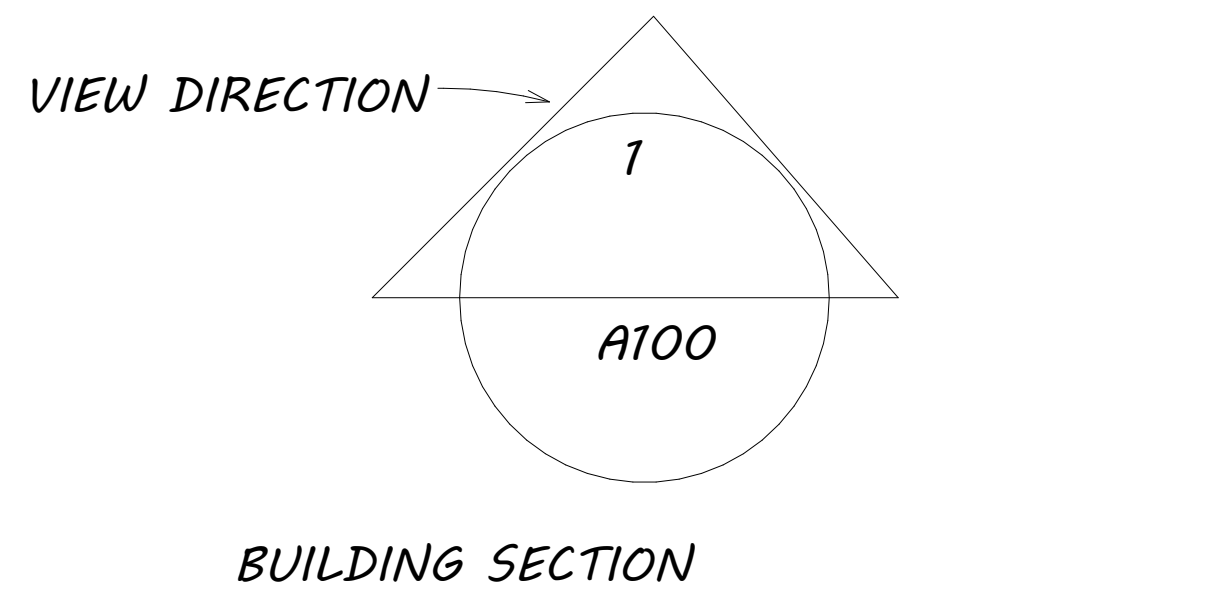
Sincerely

Debby B

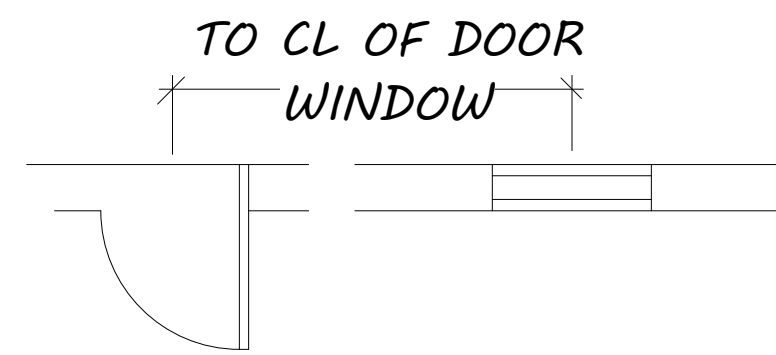
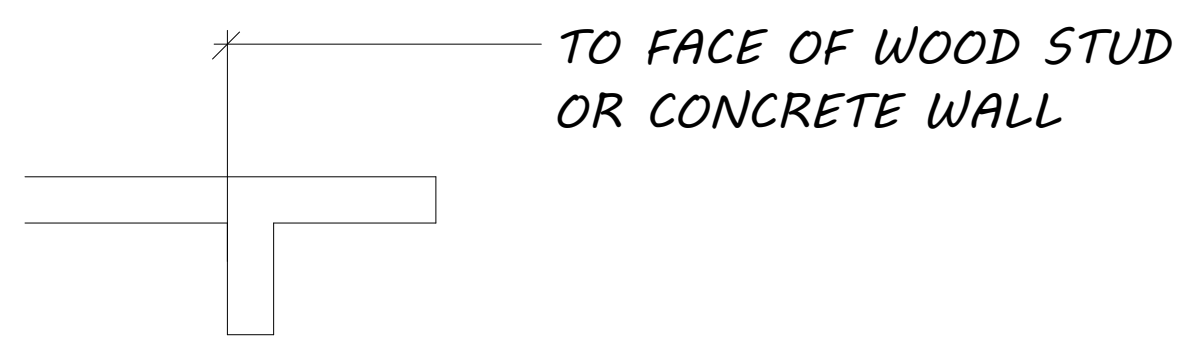
Sent from [Mail](#) for Windows 10

# NEW RESIDENCE FOR GILPIN COUNTY COLORADO 5 SAGEMORE TRAIL (BLACKHAWK)

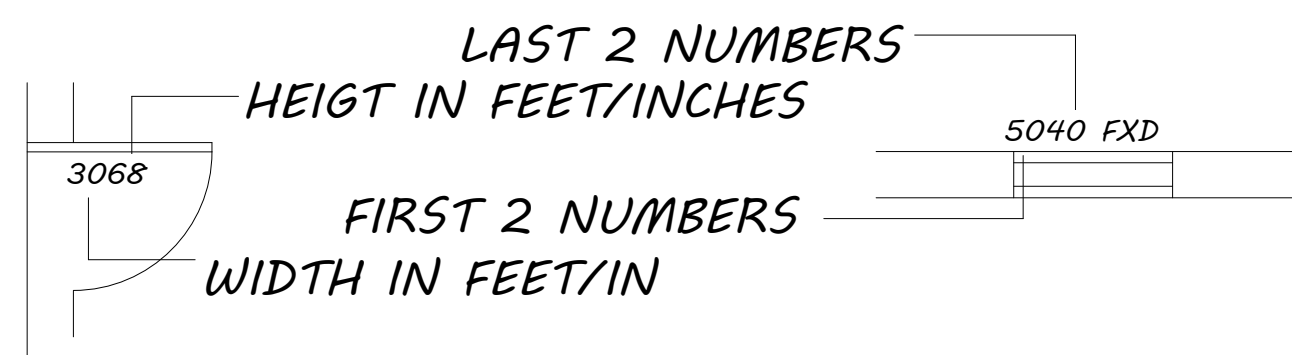
## SYMBOL LEGEND



BUILDING SECTION



DIMENISONS



## CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH GILPIN COUNTY CODES 2015 IBC, 2015 IMC, 2015 IFC, 2015 IFGC, 2015 IECC, 2015 IPMC, 2015 IEBC, 2015 IPC, 2015 NEC AND ALL APPLICABLE LOCAL ORDINANCES OF BLACKHAWK.

## LEGAL DESCRIPTION

## ABBREVIATIONS

AB	ANCHOR BOLT
ADJ	ADJUSTABLE
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONC. MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CONN	CONNECTION
CPT	CARPET
DBL	DOUBLE
DF	DOUGLAS- FIR
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
EQ	EQUAL
EW	EACH WAY
FD	FLOOR DRAIN
FDN	FOUNDATION
FF	FINISHED FLOOR
FLR	FLOOR
FT	FEET
GA	GAUGE
GL	GLASS
LG	LONG
LT	LIGHT
ML	MICRO- LAM
MTL	METAL
OC	ON CENTER
OHC	OVERHEAD CABINET
PL	TOP PLATE
PT	PRESSURE TREATED
RAD	RADIUS
R&S	ROD AND SHELF
S&P	SHELF AND POLE
SH	SHELF
SHWR	SHOWER
SIM	SIMILAR
SQ	SQUARE
STL	STEEL
TOF	TOP OF FOUNDATION
TOS	TOP OF SLAB
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHER WISE
WD	WOOD

## STAIR INFORMATION

- 1- STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES ABOVE THE PERMITTED HANDRAIL HEIGHT (34"-38") (SECTION R311-7-1)
- 2- TREADS SHALL BE AT LEAST 10 INCHES DEEP, RISERS SHALL NOT BE GREATER THEN 7 3/4" IN HEIGHT AND THE TREAD OR RISER VARIANCE SHALL NOT EXCEED 3/8" WITH ANY FLIGHT OF STAIRS (SECTIONS R311-7-5-1 & R311-7-5-2)
- 3- STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- 4- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
- 5- STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS- THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
- 6- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS- THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- 7- STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
- 8- GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT
- 9- RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
- 10- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

## SHEET INDEX

C1 COVER SHEET

## SITE SHEET

SPI SITE PLAN

## ARCHITECTURAL

A1	BASEMENT
A2	DIMENSIONS
A3	MAIN FLOOR
A4	DIMENSIONS
A5	FRONT & BACK VIEWS
A6	LEFT AND RIGHT VIEWS
A7	ROOF

## ELECTRICAL

E1	BASEMENT
E2	MAIN FLOOR

## STRUCTURAL

S1	FOUNDATION PLAN,
S2	MAIN FLOOR FRAMING
S3	SECTION PLAN
S4	DETAIL SHEET

## AREA

FINISHED BASEMENT	1,033.7	SQUARE FEET
UNFINISHED BASEMENT	992.3	SQUARE FEET
MAIN FLOOR	2,026	SQUARE FEET
COVERED PORCH	378	SQUARE FEET
DECK	144	SQUARE FEET
TOTAL	2,548	SQUARE FEET

## SITE INFORMATION

BUILDING FORM- NEW HOUSE  
ZONE LOT AREA- \*\*\*\* ACRE  
ZONE LOT WIDTH- \*\*\*\*

PROPOSED STRUCTURE- FULL HOUSE  
PRIMARY FOOTPRINT- \* SQ FT  
TOTAL FOOTPRINT- \* SQ FT  
PROPOSED COVERAGE- \*\*\*\*%

PROPOSED USE- RESIDENCE

## SPECIFICATIONS

1-) DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL DIMENSIONS GIVEN TO FACE OF STUD.

2-) ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES- SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.

3-) CONTRACTOR SHALL EXAMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS BOTH ON THE PLAN AND IN THE FIELD, AND/OR CORRECTIONS.

4-) OWNER TO PROVIDE:

- HVAC
- TRUSS COMPANY
- SOIL TESTS
- MECHANICAL PLANS
- EXACT SPECIFICATIONS
- COLOR SELECTIONS
- LANDSCAPING PLANS
- FIELD SUPERVISION

5-) CONTRACTOR SHALL VERIFY EXISTING SOIL CONDITION AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES TO THE ASSUMPTIONS OF THE SOIL REPORT. PROVIDE CONTROL JOINTS AT ALL SLAB CONDITIONS.

6-) PROVIDE TEMPERED GLASS AT SLIDING DOORS AND AREAS SUBJECT TO HUMAN IMPACT SHALL BE PER LOCAL CODE. SAFETY GLAZING IS REQUIRED IN WINDOWS WITHIN A 24" ARC OF A DOOR AND LESS THAN 60' ABOVE THE FLOOR, WITHIN 3' OF STAIRS AND LANDINGS WHEN THE BOTTOM EDGE IS LESS THAN 60' ABOVE THE FLOOR (5' IN ANY DIRECTION FROM THE BOTTOM TREAD) AND ADJACENT TO BATHTUBS OR SHOWERS WHEN LESS THAN 60" ABOVE THE WALKING/ STANDING SURFACE.

7-) ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED AREAS ABOVE GRADE SHALL BE WEATHER STRIPPED.

8-) INSULATION- PER TABLE INSULATION AND FENESTRATION REQUIREMENTS

- MIN. R-49 IN ALL ROOF AREA
- MIN. R-20 IN ALL EXTERIOR WALLS
- MIN. R-19 IN ALL JOIST SPACES
- MIN. R-15/R-19 IN ALL BASEMENT WALLS
- MIN. R-15/R-19 IN ALL CRAWLSPACE AREAS

9-) PROVIDE COMBUSTION AIR TO FURNACE AND WATER HEATER PER LOCAL BUILDING CODE.

10-) EXTERIOR OPENINGS EXPOSED TO WEATHER (IE CONCRETE SLAB) SHALL BE FLASHED TO PREVENT WATER PENETRATING THE FOUNDATION.

11-) PROVIDE ROOF VENTILATION AS REQUIRED PER SECTION R806.

12-) PROVIDE 5/8" TYPE- X GYP. BOARD UNDER STAIRS IF SPACE IS ENCLOSED.

13-) INSTALL GUTTERS AT ALL HORIZONTAL FASCIAS PER CODE. DOWNSPOUTS TO HAVE 4" ADJUSTABLE EXTENDERS TYP. ALL EXPOSED METAL SHALL BE PAINTED TO MATCH COLOR OF SURFACE.

14-) ALL TUB AND SHOWER ENCLOSURES SHALL BE FINISHED WITH NON-ABSORBENT SURFACES AND FIXTURE PENETRATIONS TO BE SEALED.

15-) SHOWERS AND TUB/SHOWER COMBINATIONS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS ARE REQUIRED AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER MAXIMIZED WATER SETTING OF 120 DEGREES.

16-) EVERY SLEEPING ROOM SHALL HAVE ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE. WHERE SUCH WINDOWS ARE APPROVED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND THE OPENING SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 20", A MINIMUM CLEAR HEIGHT OF 24", AND A CLEAR OPENING OF 5.7 SQFT PER SECTION R310.

17-) MAXIMUM BASEMENT SILL HEIGHT SHALL BE 44" ABOVE FLOOR, AND MAX. WELL DEPTH SHALL BE 44" BELOW GRADE. EGRESS WINDOWS FROM THE BASEMENT MUST BE PROVIDED WITH AN EGRESS WINDOW WELL ID THE WINDOW HEIGHT MUST HAVE A MIN. CLEAR AREA OF 9SQFT. AND A MIN. HORIZONTAL PROJECTION AND WIDTH OF 36". IF THE WINDOW WELL GREATER THAN 44" DEEP, IT SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION OR ENCRACH MORE 6" INTO THE CLEAR AREA. PER SECTION R310.

18-) PROVIDE 4" DIA. MOISTURE EXHAUST DUCT FOR CLOTHES DRYER. LENGTH SHALL NOT EXCEED 25'. SEE SECTION M1501.

19-) PROVIDE ACCESS PANEL TO WHIRLPOOL TUB PER SEC-P2720-1

20-) ALL BASEMENT DAMP PROOFING TO BE PER SECTION R406 AND SPRAYED ON BASEMENT AND CRAWL SPACE EXTERIOR SURFACES.

21-) BATHROOMS AND WATER CLOSET AREAS MUST BE VENTILATED PER SECTION M1506.

22-) FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTALLATION INSTRUCTIONS. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.

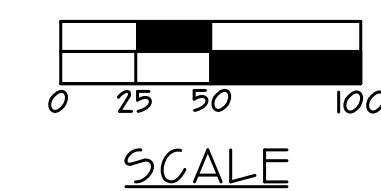
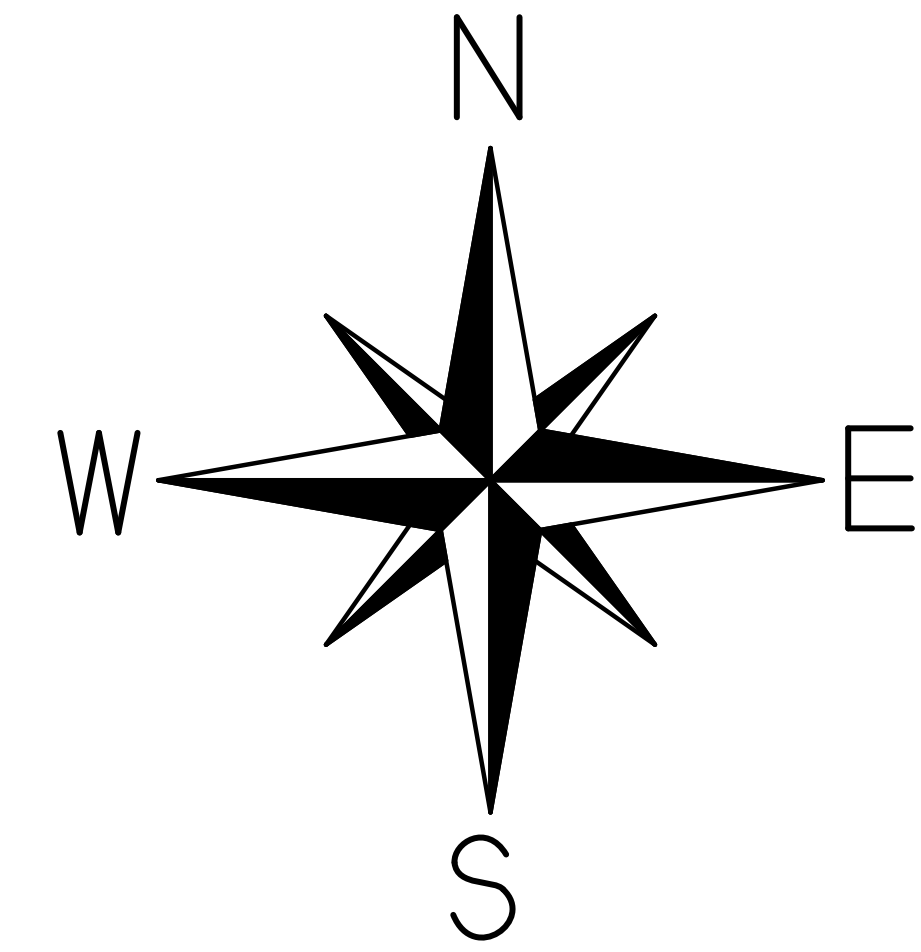
23-0 FUEL FIRE EQUIPMENT (FURNACE, WATER HEATER, ETC.) MUST BE PROVIDED WITH ADEQUATE OUTSIDE COMBUSTION AIR. A MIN. OF TWO DUCTS OR OPENINGS IS REQUIRED: ONE WITHIN 12" OF THE CEILING AND ONE WITHIN 12" OF THE FLOOR. THE MIN. SIZE OF THE DUCTS IS DETERMINED BY THE COMBINED BTU RATINGS OF THE EQUIPMENT SERVED. SEE CHAPTER 17, IRC FOR FURTHER INFORMATION.

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

COVER PAGE FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	
Sheet:	OF:
C1	C1



### SITE NOTES

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.
2. CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
3. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
4. (T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.
5. SEWER INVERT ELEVATION IS TO BE VERIFIED FOR THE POSSIBILITY OF A LIFT STATION NECESSARY FOR BASEMENT SERVICE.
6. ANY GRADING SHOWN IS ONLY A GUIDE AND SHALL NOT BE USED FOR CALCULATING EXACT EXCAVATION QUANTITIES.
7. AN OPEN HOLE INSPECTION PERFORMED BY A LICENSED CIVIL ENGINEER IS HIGHLY RECOMMENDED TO VERIFY THAT SOILS ENCOUNTERED MATCHES THAT DESCRIBED IN THE SOILS REPORT.
8. IT IS RECOMMENDED THAT BASEMENTS FOUNDED ON EXPANSIVE SOILS NOT BE FINISHED UNTIL THE RECOMMENDATION OF THE FOUNDATION ENGINEER.
9. WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4" PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A SUMP THEN PUMPED AWAY FROM THE FOUNDATION.
10. ALL EXTERIOR CONG. FLATWORK TO BE A MIN. ( 4" THICK 3,000 psi CONG. W/ FIBER MESH) OVER 2" THICK GRAVEL OR COMPACTED SAND BASE OVER PROPERLY COMPACTED GRADE. VERIFY FINISH W/ OWNER.
11. SITE PLAN IS BASED UPON FINAL PLAT DRAWING PROVIDED BY AMERICAN WEST LAND SURVEYING CO.
12. ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

# SITE PLAN

REVISIONS	DATE

**CRC CONSULTING**  
 1830 IROQUOIS ROAD, FUEBLO, COLORADO  
 PHONE: 719-924-9733

SITE PLAN FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

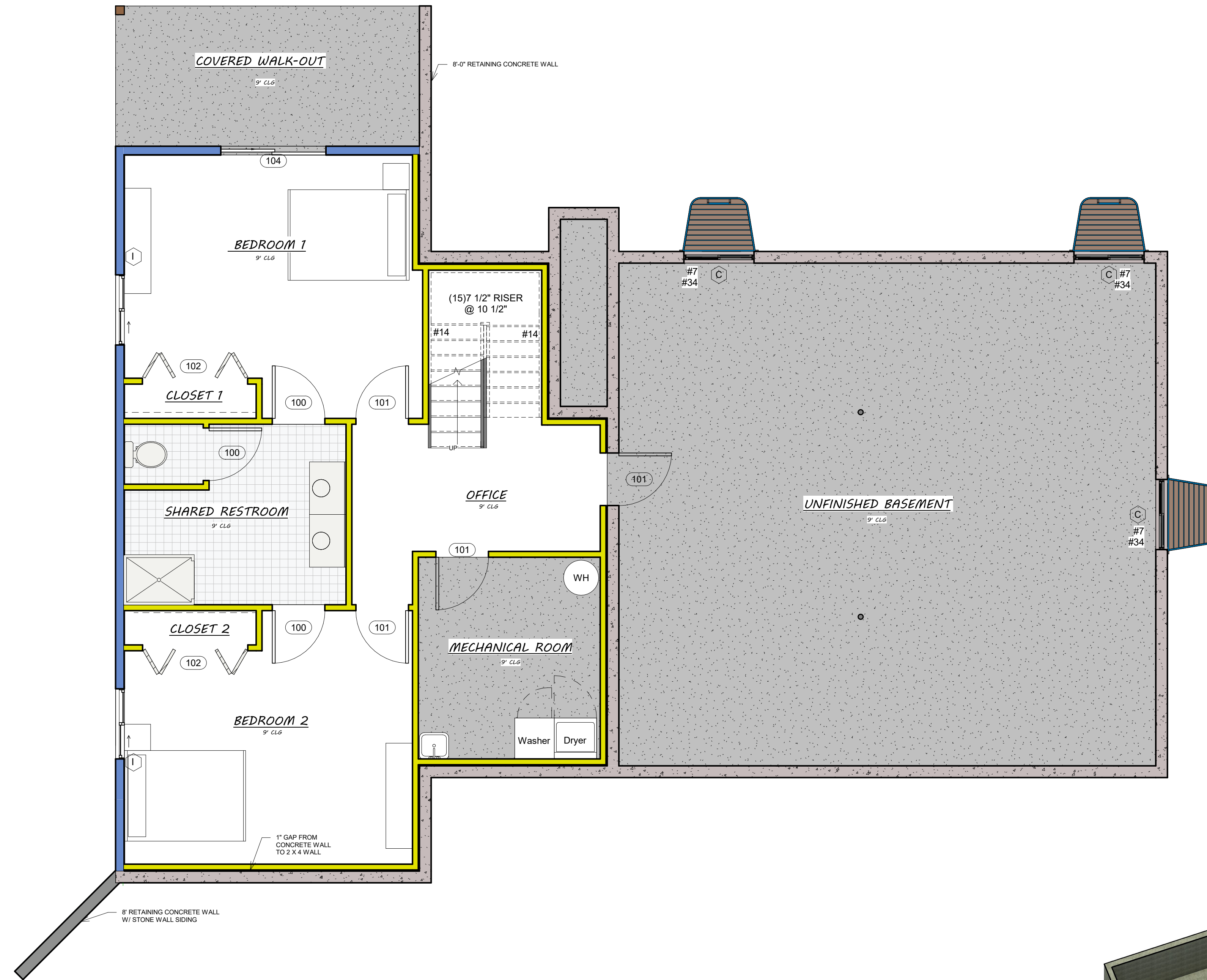
DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: SPI	OF: SPI

**CONSTRUCTION ASSEMBLIES**

- A. TYPICAL ROOF CONSTRUCTION  
COMPOSITION ROOF SHINGLES ON ROOFING UNDERLAYMENT ON EXTERIOR ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS- CEILING: GYPSUM BOARD.
  - B1. TYPICAL SIDING WALL CONSTRUCTION  
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWING- INTERIOR, GYPSUM BOARD.
  - B2. TYPICAL BRICK VENEER WALL CONSTR.  
BRICK VENEER W/ 1" AIR SPACE; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS- INTERIOR: GYPSUM BOARD.
  - B3. TYPICAL STONE VENEER WALL CONSTR.  
ADHERED STONE VENEER; ATER RESISTANCE BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS- INTERIOR: GYPSUM BOARD.
  - B4. TYPICAL STUCCO WALL CONSTR.  
STUCCO W/ CORROSION RESISTANT METAL LATH; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS- INTERIOR : GYPSUM BOARD
  - C. TYPICAL FLOOR CONSTRUCTION  
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON I-JOISTS AS NOTED ON STRUCTURAL DRAWINGS- MAIN FLOOR CEILING GYPSUM BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND FOR FOUNDATION WALL, BASEMENT FLOOR & GARAGE FLOOR CONSTRUCTION

**FLOOR PLAN NOTES**

1. LINE OF FRAMING ABOVE
2. ALL EXTERIOR WALLS ARE 2X6 ROUGH CUT AND INTERIOR WALLS ARE 2X4 ROUGH CUT UNLESS NOTED OTHERWISE.
3. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
5. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/ OR GIRDER TRUSSES UNLESS NOTED OTHERWISE ON PLANS
6. TRUSS MFG. TO SIZE MEMBERS FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES
7. WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5-7 SQ. FT. WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
8. BALLOON FRAME ALL EXTERIOR WALLS (ABOVE 9'1") RO UNDERSIDE OF ROOF SHEATHING - PROVIDE FIRESTOPPING EVERY 10'-0" VERTICALLY IN WALLS ABOVE 10'0"
9. EXTERIOR GUARDRAIL, ALL BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
10. ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
11. TERMINATE REFRIG. RECESS AT 73" A-F-F.
12. TYPICAL WINDOW HEAD HEIGHT SHALL ON SCHEDULE
13. ARCHED SOFFIT( SEE INTERIOR ELEV.- FOR ADDITIONAL INFORMATION.
14. HANDRAIL
15. HALF WALL + 34 1/2" A-F-F. W COUNTERTOP PER PLAN (SEE DETAIL SHEET)MECHANICAL CHASE, SEE MECH. DWGS.
16. LINE OF SOFFIT ABOVE.
17. LINE OF FOUNDATION BELOW
18. GYPSUM BOARD SOFFIT @ 9'-0" A-F-F.
19. GUARDRAIL WITH BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS (SEE DETAIL SHEET).
21. PREFABRICATED FIREPLACE, GAS (NON WOOD BURNING) AS SPECIFIED BY BUILDER.
22. 8'-0" X 5'-0" CONCRETE STOOP U-N-O.
23. LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
24. SLOPE GARAGE FLOOR 2" TO OVERHEAD GARAGE DOOR.
25. PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
26. 4" BRICK VENEER.
27. LINE OF FRAMING BELOW.
28. 4" BRICK WAINSCOT.
29. GYPSUM BOARD SOFFIT @ 8'-0" A-F-F.
30. PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING UNDER ACCESSIBLE ENCLOSED STAIRS.
31. ATTIC ACCESS (22" X 30" U-N-O)
32. WOOD CAP ON STONE WALL
33. SHOWER SEAT
34. EMERGENCY EGRESS WINDOWS SHALL COMPLY WITH GOVERNING FIRE & BUILDING CODES. MAXIMUM SILL HEIGHT, REFER TO FLOOR PLAN NOTES #7
35. HALF WALL 440' 2" A-F-F. W/WOOD TOP PER PLAN
36. GYPSUM BOARD SOFFIT @ 7'-6" A-F-F.
37. 60"X30" TUB/SHOWER COMBO  
NOTE: WINDOW OVER THE TUB MUST BE A MINIMUM OF 60" FROM THE BOTTOM OF THE TUB WITH GLAZING



1. BASEMENT PLAN  
1/4" = 1'-0"

**AREAS**

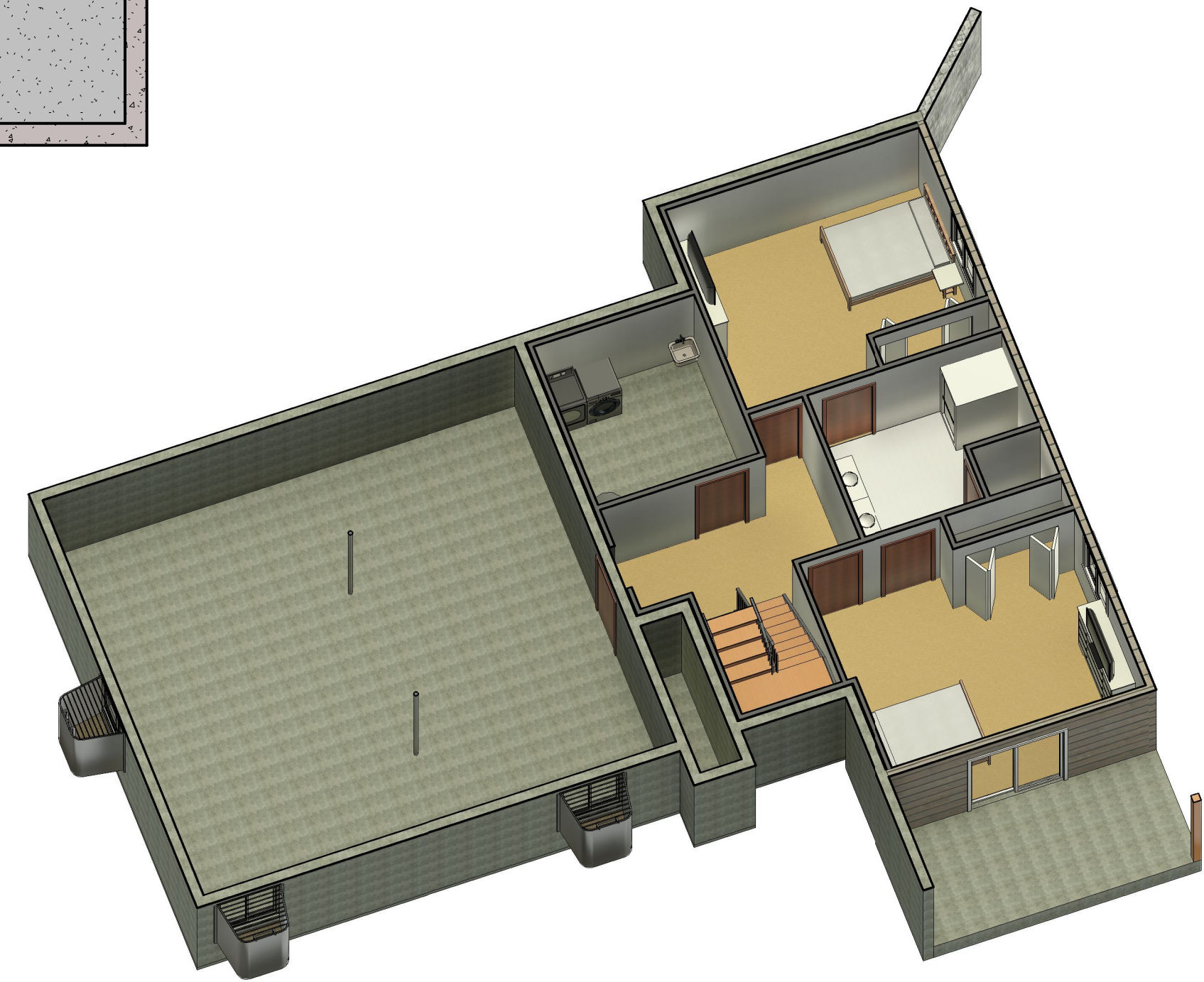
FINISHED AREAS		
MAIN FLOOR	2,026	SQUARE FEET
BASEMENT	992-3	SQUARE FEET
TOTAL FINISHED	3,018-3	SQUARE FEET

**WINDOW SCHEDULE**

TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	TEMPERED	COMMENTS
A	4	AWNING VENT	3'-0"	1'-5"	6'-0"	NO	
B	4	FIXED	3'-0"	8'-0"	0'-0"	NO	
C	3	SLIDING	4'-0"	4'-0"	3'-6"	NO	EGRESS
D	2	CASEMENT RT & LT	2'-0"	6'-0"	2'-6"	NO	
E	2	FIXED	4'-0"	4'-0"	4'-2"	NO	
F	2	FIXED	8'-0"	7'-6"	6'-9"	NO	
G	2	FIXED	4'-0"	1'-5"	2'-10"	NO	
H	1	CASEMENT RT	2'-0"	3'-0"	3'-6"	NO	
I	2	SLIDING	4'-0"	4'-0"	4'-0"	NO	

**DOOR SCHEDULE**

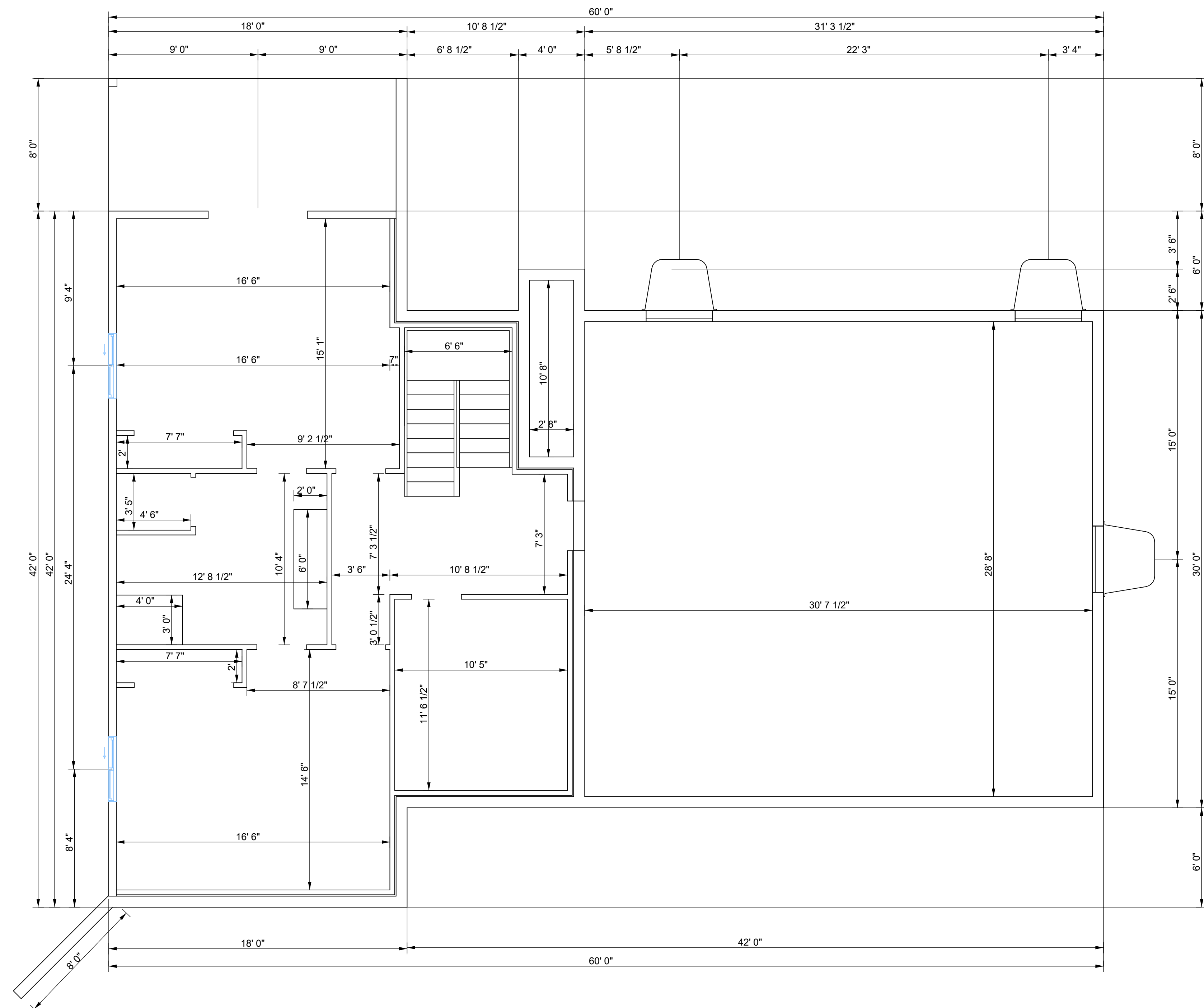
TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	TYPE COMMENTS
100	6	SWING	3'-0"	6'-8"	
101	4	SWING	3'-0"	7'-0"	
102	3	SWING	6'-0"	6'-8"	BI-FOLD
103	2	SLIDING	8'-0"	6'-8"	GLASS DOOR
104	2	SLIDING	6'-0"	6'-8"	GLASS DOOR
105	1	SWING	3'-0"	8'-0"	



2. BASEMENT RENDER

**BASEMENT**

Revision	Date
<p><b>CRC CONSULTING</b> 1830 IROQUOIS ROAD, PUEBLO, COLORADO PHONE: (719)-924-9733</p>	
<p>BASEMENT PLAN FOR 5 SAGEMORE TRAIL BLACKHAWK, COLORADO</p>	
Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	1/4" = 1'-0"
Sheet:	OF:
A1	A7



① BS DIMENSIONS  
1/4" = 1'-0"

**WINDOW SCHEDULE**

TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	TEMPERED	COMMENTS
A	4	AWNING VENT	3'-0"	1'-5"	6'-0"	NO	
B	4	FIXED	3'-0"	8'-0"	0'-0"	NO	
C	3	SLIDING	4'-0"	4'-0"	3'-6"	NO	EGRESS
D	2	CASEMENT RT & LT	2'-0"	6'-0"	2'-6"	NO	
E	2	FIXED	4'-0"	4'-0"	4'-2"	NO	
F	2	FIXED	8'-0"	7'-6"	6'-9"	NO	
G	2	FIXED	4'-0"	7'-5"	2'-10"	NO	
H	1	CASEMENT RT	2'-0"	3'-0"	3'-6"	NO	
I	2	SLIDING	4'-0"	4'-0"	4'-0"	NO	

**DOOR SCHEDULE**

TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	TYPE COMMENTS
100	6	SWING	3'-0"	6'-8"	
101	4	SWING	3'-0"	7'-0"	
102	3	SWING	6'-0"	6'-8"	BI-FOLD
103	2	SLIDING	8'-0"	6'-8"	GLASS DOOR
104	2	SLIDING	6'-0"	6'-8"	GLASS DOOR
105	1	SWING	3'-0"	8'-0"	

**NOTE:**  
ALL 2 X 6 EXTERIOR & 2 X 4 WALLS  
ARE ROUGH CUT TO 5 1/2" & 3 1/2"

# DIMENSIONS

<p><b>CRC CONSULTING</b> 1830 IROQUOIS ROAD, PUEBLO, COLORADO PHONE: (719)-924-9733</p>	<p><b>BASEMENT DIMENSIONS FOR 5 SAGEMORE TRAIL BLACKHAWK, COLORADO</b></p>
Date: 5.20.20 Drawn by: EF Checked by: DJN Scale: 1/4" = 1'-0" Sheet: OF:	A2      A7

## CONSTRUCTION ASSEMBLIES

- A. **TYPICAL ROOF CONSTRUCTION**  
COMPOSITION ROOF SHINGLES ON ROOFING UNDERLAYMENT ON EXTERIOR ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS. CEILING: GYPSUM BOARD.
- B1. **TYPICAL SIDING WALL CONSTRUCTION**  
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWING. INTERIOR, GYPSUM BOARD.
- B2. **TYPICAL BRICK VENEER WALL CONSTR.**  
BRICK VENEER W/ 1" AIR SPACE; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR: GYPSUM BOARD.
- B3. **TYPICAL STONE VENEER WALL CONSTR.**  
ADHERED STONE VENEER; ATER RESISTANCE BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR: GYPSUM BOARD.
- B4. **TYPICAL STUCCO WALL CONSTR.**  
STUCCO W/ CORROSION RESISTANT METAL LATH; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR: GYPSUM BOARD.
- C. **TYPICAL FLOOR CONSTRUCTION**  
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON I-JOISTS AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING GYPSUM BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND FOR FOUNDATION WALL, BASEMENT FLOOR & GARAGE FLOOR CONSTRUCTION

## FLOOR PLAN NOTES

- LINE OF FRAMING ABOVE
- ALL EXTERIOR WALLS ARE 2X6 ROUGH CUT AND INTERIOR WALLS ARE 2X4 ROUGH CUT UNLESS NOTED OTHERWISE.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/ OR GIRDER TRUSSES UNLESS NOTED OTHERWISE ON PLANS.
- TRUSS MFG. TO SIZE MEMBERS FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5-7 SQ. FT. WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
- BALLOON FRAME ALL EXTERIOR WALLS (ABOVE 91") RO UNDERSIDE OF ROOF SHEATHING - PROVIDE FIRESTOPPING EVERY 10'-0" VERTICALLY IN WALLS ABOVE 10'-0"
- EXTERIOR GUARDRAIL, ALL BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTERS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- TERMINATE REFRIG. RECESS AT 73" A-F-F.
- TYPICAL WINDOW HEAD HEIGHT SHALL ON SCHEDULE
- ARCHED SOFFIT( SEE INTERIOR ELEV. FOR ADDITIONAL INFORMATION.
- HANDRAIL
- HALFWALL + 34 1/2" A-F-F. W COUNTERTOP PER PLAN (SEE DETAIL SHEET)MECHANICAL CHASE, SEE MECH. DWGS.
- LINE OF SOFFIT ABOVE.
- LINE OF FOUNDATION BELOW
- GYPSUM BOARD SOFFIT @ 9'-0" A-F-F.
- GUARDRAIL WITH BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS (SEE DETAIL SHEET).
- PREFABRICATED FIREPLACE, GAS (NON WOOD BURNING) AS SPECIFIED BY BUILDER.
- 8'-0" X 5'-0" CONCRETE STOOP U-N-O.
- LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
- SLOPE GARAGE FLOOR 2" TO OVERHEAD GARAGE DOOR.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
- 4" BRICK VENEER.
- LINE OF FRAMING BELOW.
- 4" BRICK WAINSCOT.
- GYPSUM BOARD SOFFIT @ 8'-0" A-F-F.
- PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING UNDER ACCESSIBLE ENCLOSED STAIRS.
- ATTIC ACCESS (22" X 30" U-N-O)
- WOOD CAP ON STONE WALL
- SHOWER SEAT
- EMERGENCY EGRESS WINDOWS SHALL COMPLY WITH GOVERNING FIRE & BUILDING CODES. MAXIMUM SILL HEIGHT. REFER TO FLOOR PLAN NOTES #7
- HALFWALL 440' 2" A-F-F. W/WOOD TOP PER PLAN
- GYPSUM BOARD SOFFIT @ 7'-6" A-F-F.
- 60"X30" TUB/SHOWER COMBO  
NOTE: WINDOW OVER THE TUB MUST BE A MINIMUM OF 60" FROM THE BOTTOM OF THE TUB WITH GLAZING



1 MAIN FLOOR PLAN  
1/4" = 1'-0"

## AREAS

FINISHED AREAS		
MAIN FLOOR	2,026	SQUARE FEET
BASEMENT	992.3	SQUARE FEET
<b>TOTAL FINISHED</b>	<b>3,018.3</b>	<b>SQUARE FEET</b>

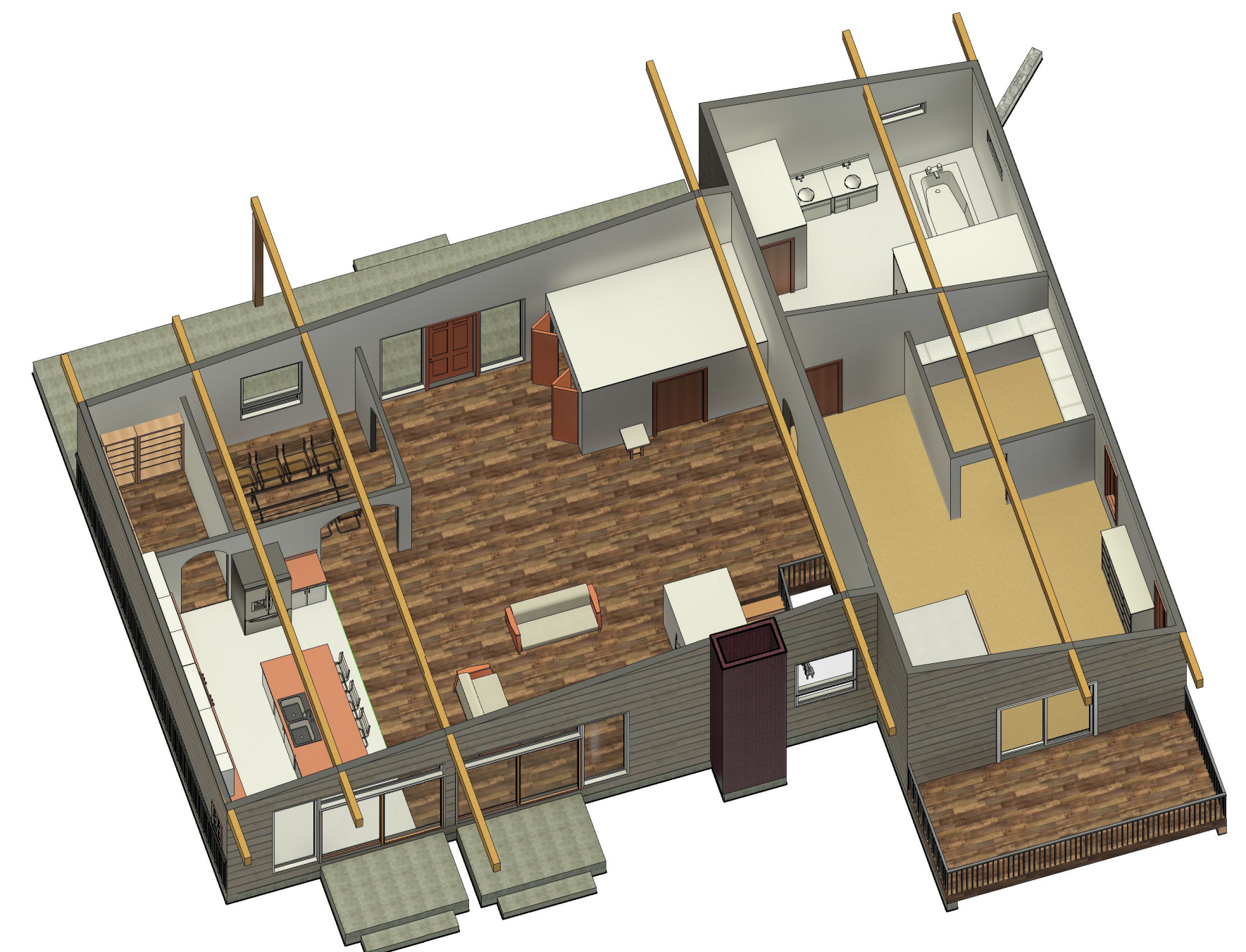
UNFINISHED AREAS		
COV. PORCH	378	SQUARE FEET
DECK	144	SQUARE FEET
<b>TOTAL FINISHED</b>	<b>522</b>	<b>SQUARE FEET</b>

### WINDOW SCHEDULE

TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	TEMPERED	COMMENTS
A	4	AWNING VENT	3'-0"	1'-5"	6'-0"	NO	
B	4	FIXED	3'-0"	8'-0"	0'-0"	NO	
C	3	SLIDING	4'-0"	4'-0"	3'-6"	NO	EGRESS
D	2	CASEMENT RT & LT	2'-0"	6'-0"	2'-6"	NO	
E	2	FIXED	4'-0"	4'-0"	4'-2"	NO	
F	2	FIXED	8'-0"	1'-6"	6'-9"	NO	
G	2	FIXED	4'-0"	1'-5"	2'-10"	NO	
H	1	CASEMENT RT	2'-0"	3'-0"	3'-6"	NO	
I	2	SLIDING	4'-0"	4'-0"	4'-0"	NO	

### DOOR SCHEDULE

TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	TYPE COMMENTS
100	6	SWING	3'-0"	6'-8"	
101	4	SWING	3'-0"	7'-0"	
102	3	SWING	6'-0"	6'-8"	BI-FOLD
103	2	SLIDING	8'-0"	6'-8"	GLASS DOOR
104	2	SLIDING	6'-0"	6'-8"	GLASS DOOR
105	1	SWING	3'-0"	8'-0"	



2 MAIN FLOOR RENDER

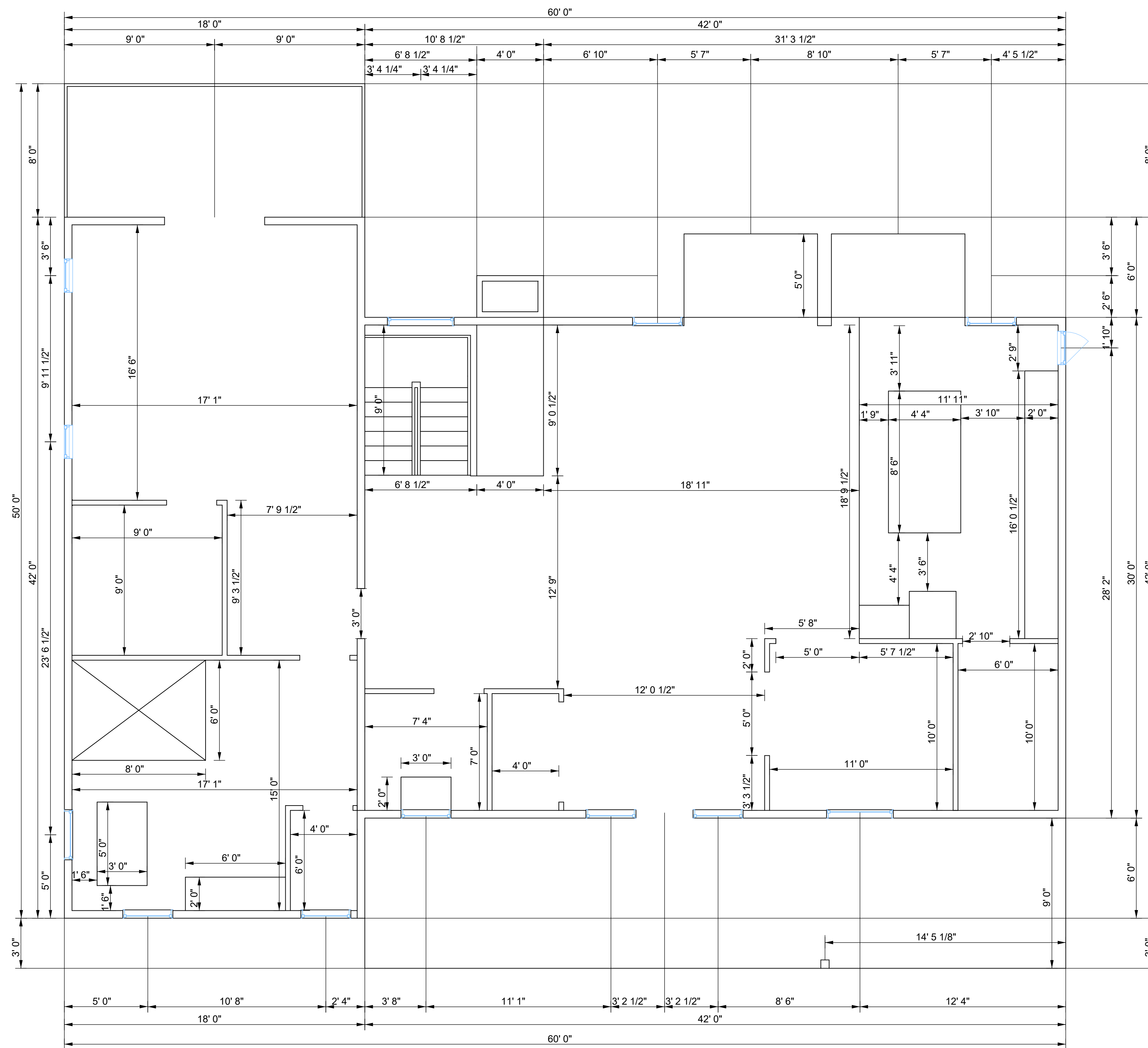
# MAIN FLOOR

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

MAIN FLOOR PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	1/4" = 1'-0"
Sheet:	OF:
<b>A3</b>	<b>A7</b>



① MF DIMENSIONS  
1/4" = 1'-0"

WINDOW SCHEDULE							
TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	TEMPERED	COMMENTS
A	4	AWNING VENT	3'-0"	1'-5"	6'-0"	NO	
B	4	FIXED	3'-0"	8'-0"	0'-0"	NO	
C	3	SLIDING	4'-0"	4'-0"	3'-6"	NO	EGRESS
D	2	CASEMENT RT & LT	2'-0"	6'-0"	2'-6"	NO	
E	2	FIXED	4'-0"	4'-0"	4'-2"	NO	
F	2	FIXED	8'-0"	7'-6"	6'-9"	NO	
G	2	FIXED	4'-0"	7'-5"	2'-10"	NO	
H	1	CASEMENT RT	2'-0"	3'-0"	3'-6"	NO	
I	2	SLIDING	4'-0"	4'-0"	4'-0"	NO	

DOOR SCHEDULE						
TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	TYPE	COMMENTS
100	6	SWING	3'-0"	6'-8"		
101	4	SWING	3'-0"	7'-0"		
102	3	SWING	6'-0"	6'-8"		BI-FOLD
103	2	SLIDING	8'-0"	6'-8"		GLASS DOOR
104	2	SLIDING	6'-0"	6'-8"		GLASS DOOR
105	1	SWING	3'-0"	8'-0"		

**NOTE:**

ALL 2 X 6 EXTERIOR & 2 X 4 WALLS  
ARE ROUGH CUT TO 5 1/2" & 3 1/2"

# DIMENSIONS

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

MAIN FLOOR DIMENSIONS FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	1/4" = 1'-0"
Sheet:	OF:
A4	A7



③ FRONT  
3/8" = 1'-0"



② BACK  
3/8" = 1'-0"

# VIEWS

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

FRONT & BACK VIEWS FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	3/8" = 1'-0"
Sheet:	A5 of A7



① LEFT  
3/8" = 1'-0"

② RIGHT  
3/8" = 1'-0"

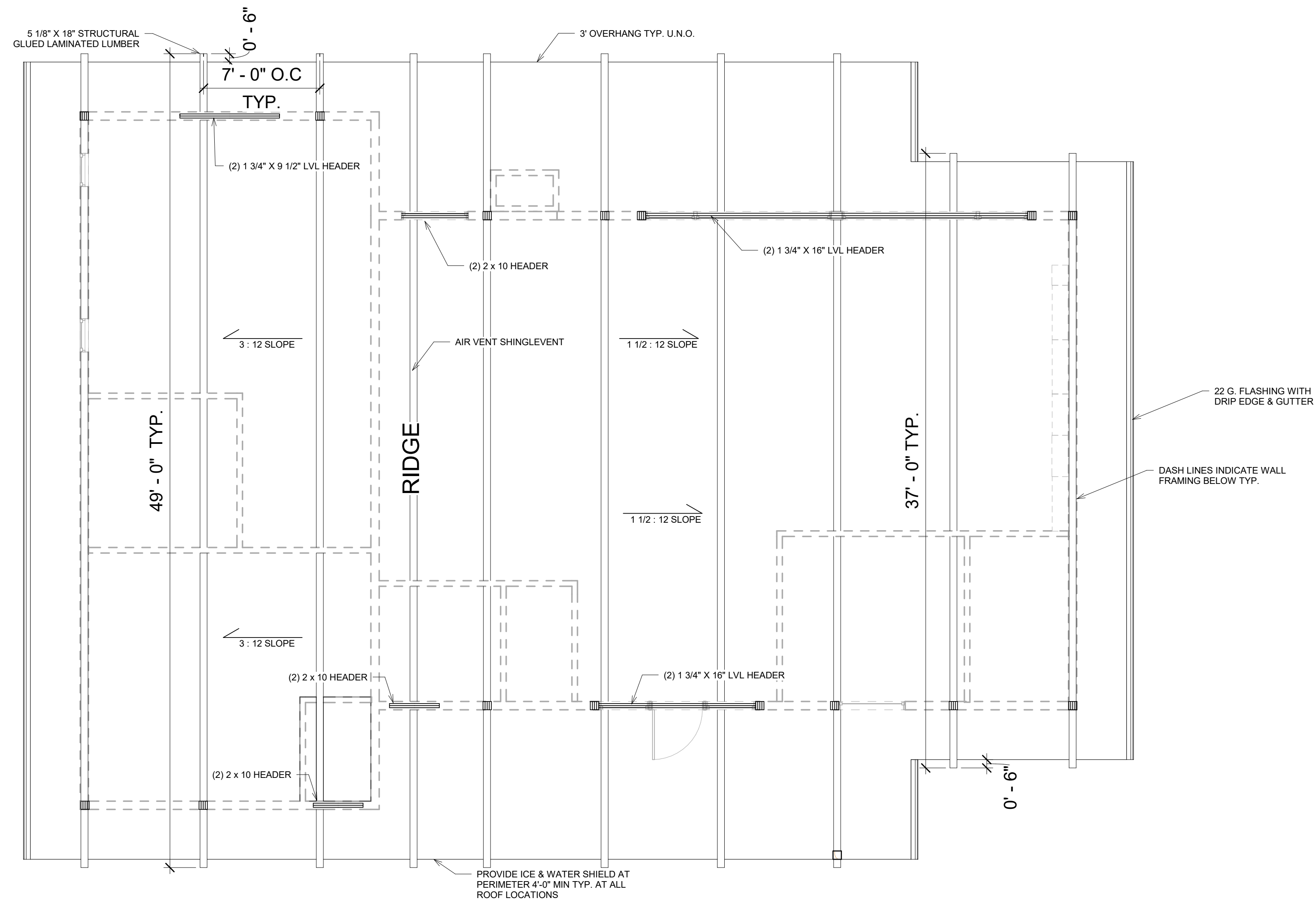
**VIEWS**

Revision	Date

**CRC CONSULTING**  
 1830 IROQUOIS ROAD, PUEBLO, COLORADO  
 PHONE: (719)-924-9733

SIDE VIEWS FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	3/8" = 1'-0"
Sheet:	A6 of A7



① MAIN FLOOR PLAN  
1/4" = 1'-0"

**ROOF**

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

ROOF PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

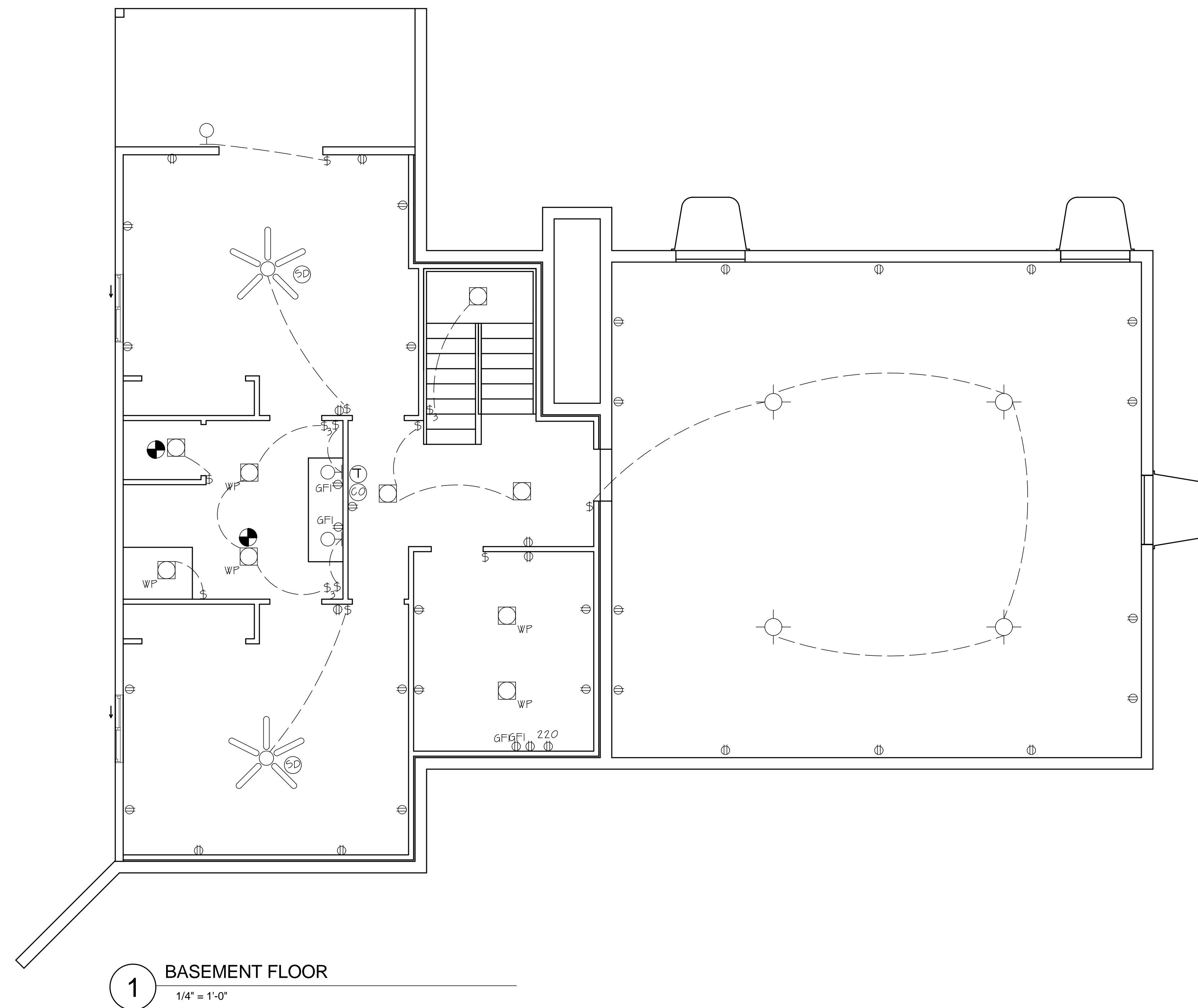
Date	5.20.20
Drawn by	EF
Checked by	DJN
Scale	1/4" = 1'-0"
Sheet	A7 of A7

## ELECTRICAL NOTES

1. PROVIDE SEPARATE CIRCUIT FOR BASEMENT FOR USE IN FUTURE CONSTRUCTION
2. ALL SWITCHES TO BE MOUNTED AT 48" AFF (MAX).
3. ALL OUTLETS, U.N.O. TO BE MOUNTED AT 18" AFF.
4. LAYOUT IS SCHEMATIC ONLY- ACTUAL ELECTRICAL DESIGN BY OTHERS AND SHALL COMPLY TO ALL LOCAL CODES.
5. PROVIDE SMOKE & CO2 DETECTORS- TYP THROUGHOUT. DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP.
6. ALL HW PIPING TO BE THOROUGHLY INSULATED.
7. RECEPTACLE OUTLETS MUST BE INSTALLED IN HABITABLE ROOMS SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE 2' OR MORE IN LENGTH IS MORE THAN 6', MEASURED HORIZONTALLY FROM AN OUTLET.
8. PROVIDE GROUND FAULT PROTECTION AT THE FOLLOWING LOCATIONS.  
 BATHROOMS  
 EXTERIOR CONDITIONING  
 NON- DEDICATED GARAGE AND BASEMENT CONDITIONS  
 KITCHEN COUNTERTOP  
 KITCHEN COUNTERTOPS  
 WITHIN 6" OF WETBAR SINKS  
 GFCI PROTECTION IS ALSO REQUIRED FOR ELECTRICAL EQUIPMENT IN WHIRLPOOL TYPE TUBS.
10. PROVIDE TWO OR MORE SMALL APPLIANCE BRANCH CIRCUITS FOR ALL RECEPTACLE OUTLETS IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. THESE CIRCUITS MUST SERVE NO MORE THAN THREE OUTLETS AND HAVE NO OTHER OUTLETS CONNECTED.
11. NO MORE THAN 8 ELECTRICAL OUTLETS MAY BE CONNECTED TO A 15 AMPERE BRANCH CIRCUIT(10 PER 20 AMPERE CIRCUIT).
12. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH LOCAL ELECTRICAL CODES.
13. PROVIDE AN ELECTRICAL LIGHT IN ALL ATTIC AND CRAWL SPACES REQUIRING ACCESS FOR SERVING OF EQUIPMENT. THE CONTROL SWITCH MUST BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI- PROTECTED ELECTRICAL SERVICE RECEPTACLE MUST BE PROVIDED AT OR NEAR THE EQUIPMENT.
14. THE GROUNDING ELECTRODE SYSTEM SHALL INCLUDE AN ELECTRODE ENGAGED BY AT LEAST 2" OD CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20' OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIAMETER, OR CONSISTING OF AT LEAST 20' OF BARE COPPER CONDUCTOR NOT SMALLER THAN NO.2.
15. COORDINATE WITH POWER AUTHORITY TO LOCATE ELECTRICAL PANEL.

### ELECTRICAL LEGEND

	CEILING MOUNTED LIGHT		SURFACE MOUNTED FIX.
	RECESSED DIRECTIONAL CAN LIGHT		FLOOR DUPLEX OUTLET
	RECESSED CAN LIGHT		DUPLEX OUTLET
	RECESSED CAN LIGHT (WATER PROFF)		DUPLEX OUTLET (220)
	CEILING FAN/LIGHT		DUPLEX OUTLET
	UNDER CABINET LIGHTING		ABOVE COUNTER GFI DUPLEX OUTLET
	HALOGEN PUCK LIGHTING		PUSHBUTTON SWITCH
	LED GARAGE LIGHT		DATA/PHONE LINE
	WALL SCONCE		TV/CABLE
	SINGLE POLE LIGHT SWITCH		PENDANT LIGHTING
	3 WAY LIGHT SWITCH		SMOKE DETECTOR
	4 WAY LIGHT SWITCH		EXHAUST FAN
	CO DETECTOR		THERMOSTAT
	PENDANT LIGHTING		



- A. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW DEVICES AND COVER PLATES TO MATCH EXISTING. VERIFY WITH HOME OWNER.
- B. MODIFY EXISTING ELECTRICAL POWER AND LIGHTING SYSTEM AS REQUIRED TO CONFIRM WITH THESE DRAWINGS AND/OR DOCUMENTS AND BUILDING DEPARTMENT REGULATIONS.
- C. THE CONTRACTOR SHALL REVIEW ANY AND ALL SWITCHES, NOT IN USE IN AREAS OF WORK FROM WITHIN PARTITIONS, AND ABOVE THE SCHEDULED CEILING. ALL WIRING SHALL BE REMOVED BACK TO ITS SOURCE PANEL.
- D. ALL SWITCHES AND DIMMERS (WHERE OCCURS) AT THE SAME LOCATION SHALL MATCH IN SAME STYLE AND FINISH. DEVICE COLOR SHALL MATCH EXISTING.
- E. PROVIDE AND RELOCATE, THERMOSTATS, DIFFUSERS, AND EQUIPMENT AS REQUIRED. ANY PLACE EXISTING/ PROVIDE NEW AS REQUIRED FOR A CLEAN, UNIFORM, LIKE-NEW INSTALLATION.
- F. CONTRACTOR SHALL MODIFY LIGHT FIXTURE SWITCHING AS REQUIRED BY NEW CONFIGURATION.
- G. MODIFY EXISTING FIRE ALARM/SMOKE DETECTION SYSTEM AS REQUIRED TO CONFIRM WITH THESE DRAWINGS AND/OR DOCUMENTS AND BUILDING DEPARTMENT REGULATIONS.

# ELECTRICAL

REVISIONS	DATE

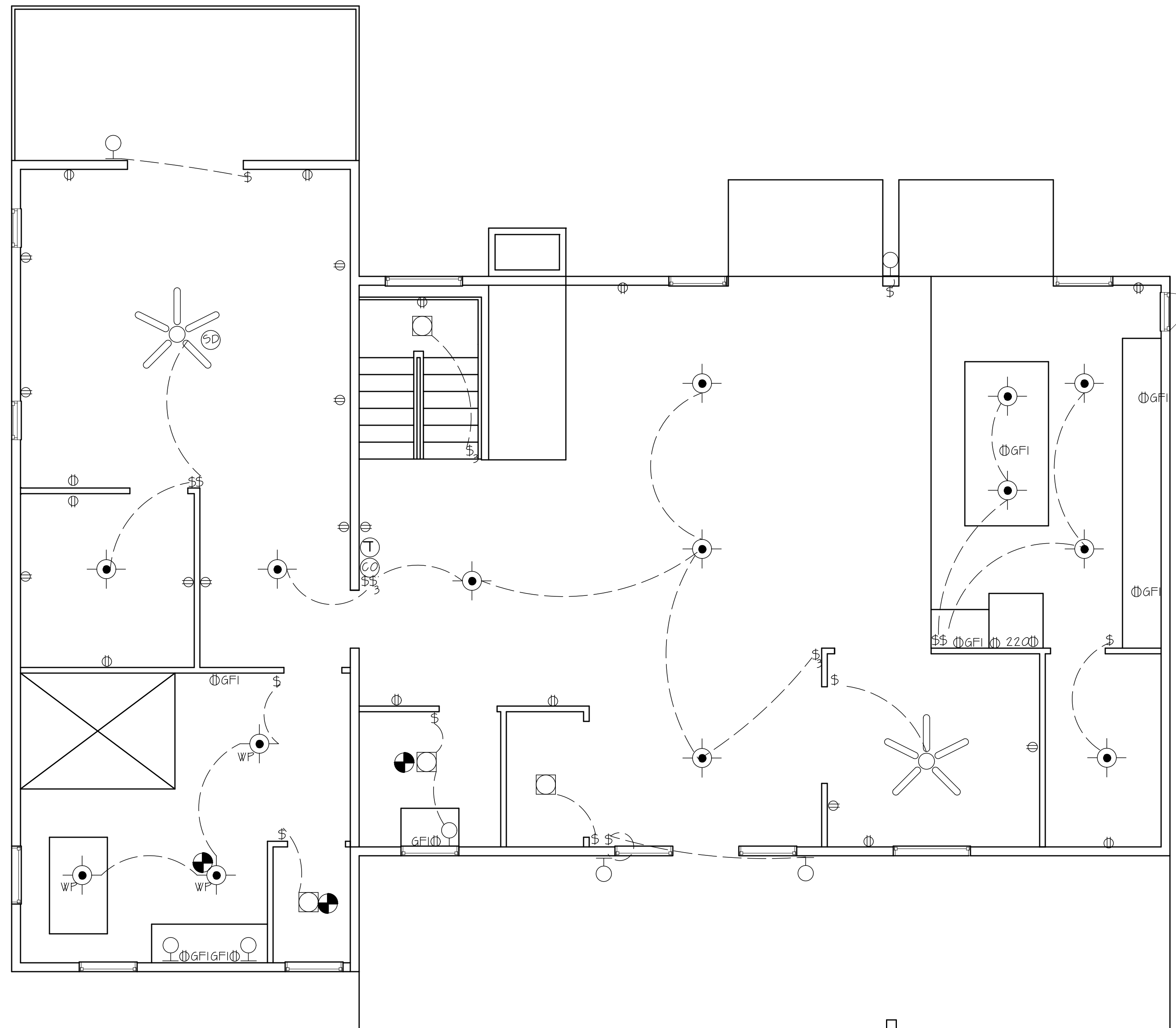
**CRC CONSULTING**  
1830 IRAGOQUIS ROAD, FUEBLO, COLORADO  
PHONE: 719-924-9733

BASEMENT ELECTRICAL PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

DRAWN BY: EF	
CHECKED BY: DJN	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: EI	OF: E2

## ELECTRICAL NOTES

1. PROVIDE SEPARATE CIRCUIT FOR BASEMENT FOR USE IN FUTURE CONSTRUCTION
2. ALL SWITCHES TO BE MOUNTED AT 48" AFF (MAX).
3. ALL OUTLETS, U.N.O. TO BE MOUNTED AT 18" AFF.
4. LAYOUT IS SCHEMATIC ONLY- ACTUAL ELECTRICAL DESIGN BY OTHERS AND SHALL COMPLY TO ALL LOCAL CODES.
5. PROVIDE SMOKE & CO2 DETECTORS- TYP THROUGHOUT. DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP.
6. ALL HW PIPING TO BE THOROUGHLY INSULATED.
7. RECEPTACLE OUTLETS MUST BE INSTALLED IN HABITABLE ROOMS SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE 2" OR MORE IN LENGTH IS MORE THAN 6', MEASURED HORIZONTALLY FROM AN OUTLET.
8. PROVIDE GROUND FAULT PROTECTION AT THE FOLLOWING LOCATIONS,  
BATHROOMS  
EXTERIOR CONDITIONING  
NON- DEDICATED GARAGE AND BASEMENT CONDITIONS  
KITCHEN COUNTERTOP  
KITCHEN COUNTERTOPS  
WITHIN 6" OF WETBAR SINKS  
GFCI PROTECTION IS ALSO REQUIRED FOR ELECTRICAL EQUIPMENT IN WHIRLPOOL TYPE TUBS.
10. PROVIDE TWO OR MORE SMALL APPLIANCE BRANCH CIRCUITS FOR ALL RECEPTACLE OUTLETS IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. THESE CIRCUITS MUST SERVE NO MORE THAN THREE OUTLETS AND HAVE NO OTHER OUTLETS CONNECTED.
11. NO MORE THAN 8 ELECTRICAL OUTLETS MAY BE CONNECTED TO A 15 AMPERE BRANCH CIRCUIT(10 PER 20 AMPERE CIRCUIT).
12. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH LOCAL ELECTRICAL CODES.
13. PROVIDE AN ELECTRICAL LIGHT IN ALL ATTIC AND CRAWL SPACES REQUIRING ACCESS FOR SERVING OF EQUIPMENT. THE CONTROL SWITCH MUST BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI- PROTECTED ELECTRICAL SERVICE RECEPTACLE MUST BE PROVIDED AT OR NEAR THE EQUIPMENT.
14. THE GROUNDING ELECTRODE SYSTEM SHALL INCLUDE AN ELECTRODE ENCASED BY AT LEAST 2" OD CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20' OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIAMETER, OR CONSISTING OF AT LEAST 20' OF BARE COPPER CONDUCTOR NOT SMALLER THAN NO.2.
15. COORDINATE WITH POWER AUTHORITY TO LOCATE ELECTRICAL PANEL.



**1 MAIN FLOOR**  
1/4" = 1'-0"

### ELECTRICAL LEGEND

<ul style="list-style-type: none"> <li> CEILING MOUNTED LIGHT</li> <li> RECESSED DIRECTIONAL CAN LIGHT</li> <li> RECESSED CAN LIGHT</li> <li> RECESSED CAN LIGHT (WATER PROFF)</li> <li> CEILING FAN/LIGHT</li> <li> UNDER CABINET LIGHTING</li> <li> HALOGEN PUCK LIGHTING</li> <li> LED GARAGE LIGHT</li> <li> WALL SCONCE</li> <li> SINGLE POLE LIGHT SWITCH</li> <li> 3 WAY LIGHT SWITCH</li> <li> 4 WAY LIGHT SWITCH</li> <li> CO DETECTOR</li> <li> PENDANT LIGHTING</li> </ul>	<ul style="list-style-type: none"> <li> SURFACE MOUNTED FIX.</li> <li> FLOOR DUPLEX OUTLET</li> <li> DUPLEX OUTLET</li> <li> DUPLEX OUTLET (220)</li> <li> DUPLEX OUTLET</li> <li> ABOVE COUNTER GFI DUPLEX OUTLET</li> <li> PUSHBUTTON SWITCH</li> <li> DATA/PHONE LINE</li> <li> TV/CABLE</li> <li> PENDANT LIGHTING</li> <li> SMOKE DETECTOR</li> <li> EXHAUST FAN</li> <li> THERMOSTAT</li> </ul>
---	---

- A. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW DEVICES AND COVER PLATES TO MATCH EXISTING. VERIFY WITH HOME OWNER.
- B. MODIFY EXISTING ELECTRICAL POWER AND LIGHTING SYSTEM AS REQUIRED TO CONFIRM WITH THESE DRAWINGS AND/OR DOCUMENTS AND BUILDING DEPARTMENT REGULATIONS.
- C. THE CONTRACTOR SHALL REVIEW ANY AND ALL SWITCHES, NOT IN USE IN AREAS OF WORK FROM WITHIN PARTITIONS, AND ABOVE THE SCHEDULED CEILING. ALL WIRING SHALL BE REMOVED BACK TO ITS SOURCE PANEL.
- D. ALL SWITCHES AND DIMMERS (WHERE OCCURS) AT THE SAME LOCATION SHALL MATCH IN SAME STYLE AND FINISH. DEVICE COLOR SHALL MATCH EXISTING.
- E. PROVIDE AND RELOCATE, THERMOSTATS, DIFFUSERS, AND EQUIPMENT AS REQUIRED. ANY PLACE EXISTING/ PROVIDE NEW AS REQUIRED FOR A CLEAN, UNIFORM, LIKE-NEW INSTALLATION.
- F. CONTRACTOR SHALL MODIFY LIGHT FIXTURE SWITCHING AS REQUIRED BY NEW CONFIGURATION.
- G. MODIFY EXISTING FIRE ALARM/SMOKE DETECTION SYSTEM AS REQUIRED TO CONFIRM WITH THESE DRAWINGS AND/OR DOCUMENTS AND BUILDING DEPARTMENT REGULATIONS.

# ELECTRICAL

REVISIONS	DATE

**CRC CONSULTING**  
1830 IRAGOUI'S ROAD, FUEBLO, COLORADO  
PHONE: 719-924-9733

MAIN FLOOR ELECTRICAL PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

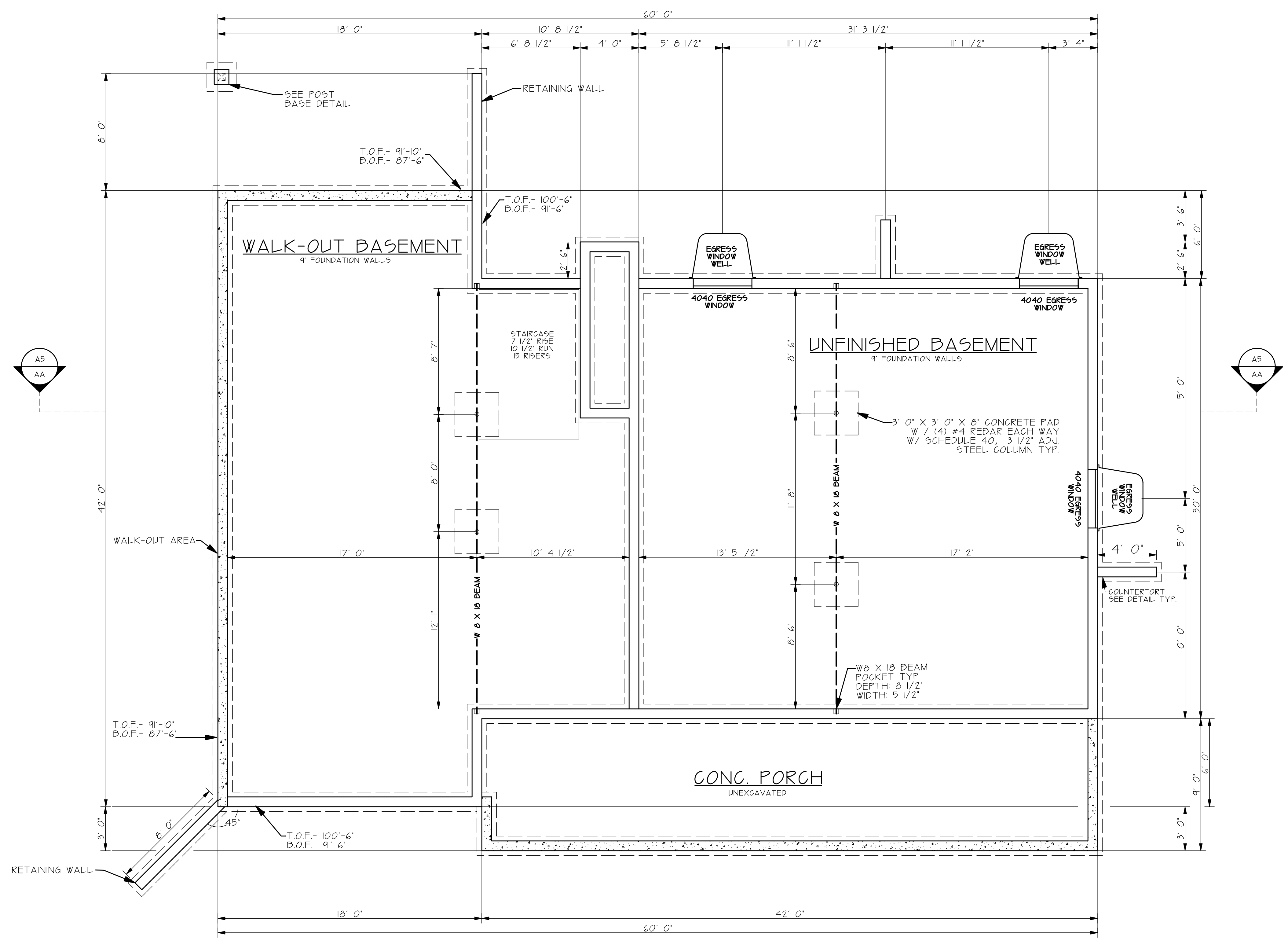
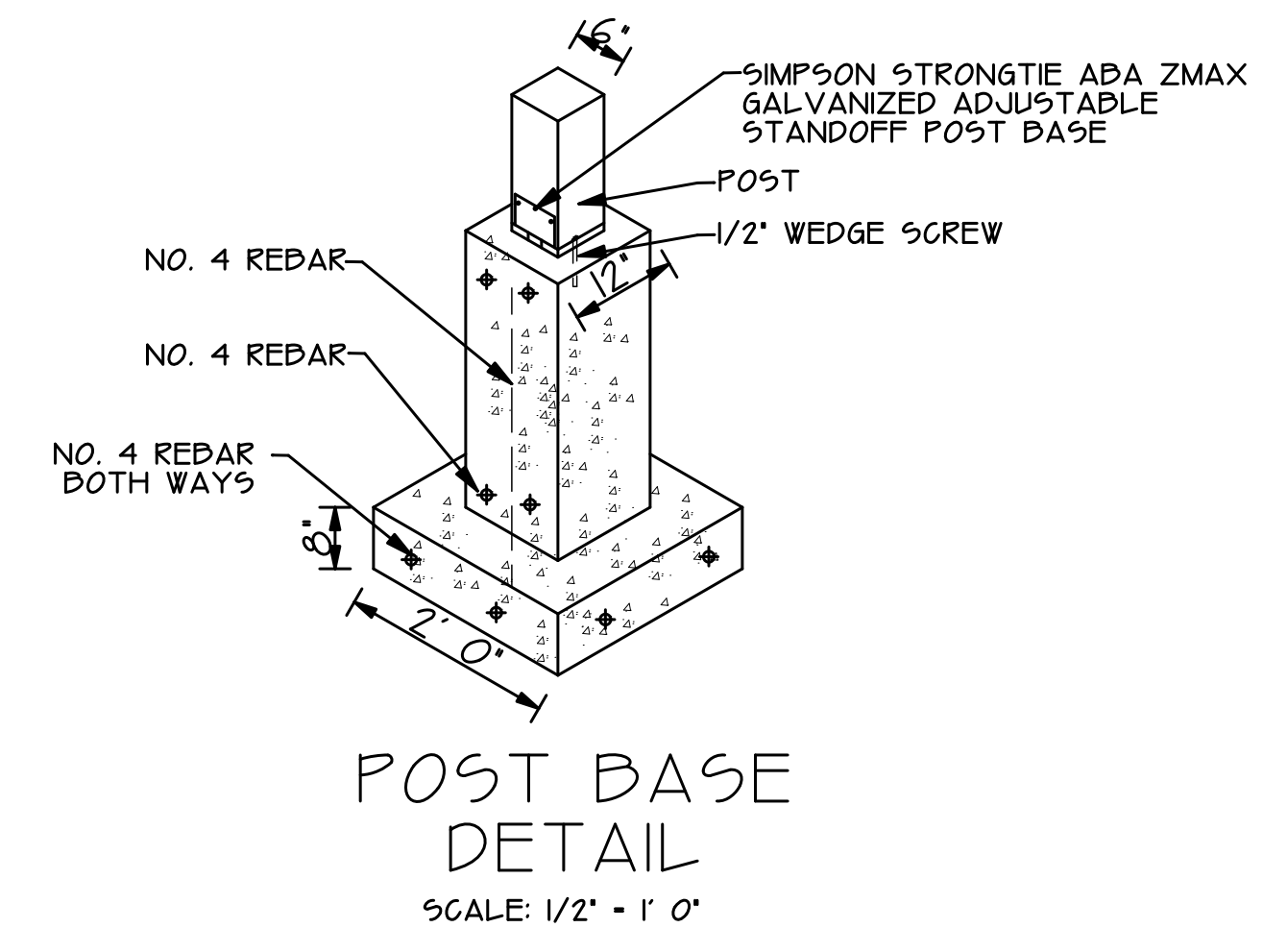
DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: E2	OF: E2

REVISIONS	DATE

**FOUNDATION WALLS**

- 3' WALLS
- 9' WALLS

ALL WALLS 8" U.N.O.



**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: 719-924-9733

FOUNDATION PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: 51	OF: 53

# FOUNDATION PLAN

REVISIONS	DATE

KING AND JACK SIZES		
SPAN	NO. JACK STUDS	NO. KING STUDS
UP TO 3' 6"	1	1
3' 6" TO 5' 0"	1	2
5' 0" TO 5' 6"	2	2
5' 6" TO 8' 0"	2	2
8' 0" TO 10' 6"	2	3
SPANS OVER 10' SEE PLANS		

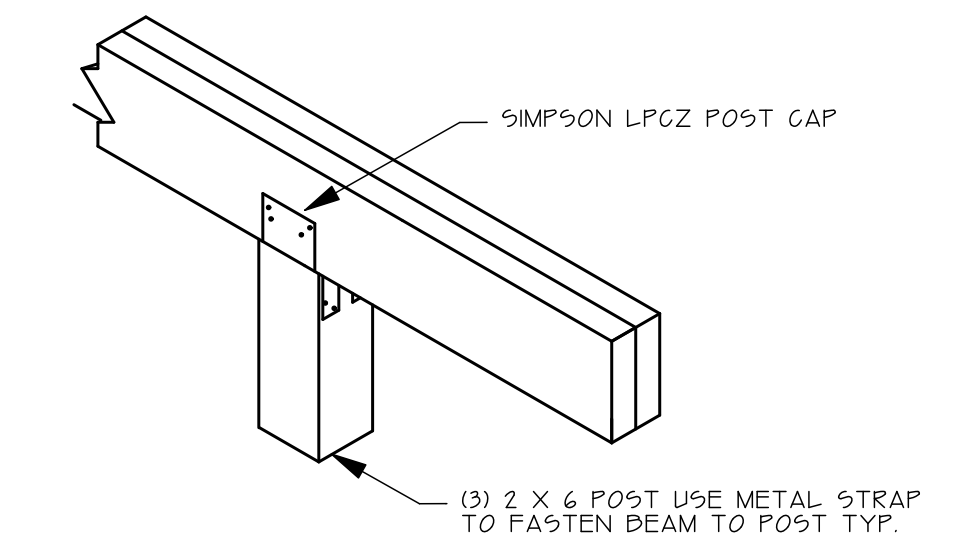
HEADER SCHEDULE	
SPAN	HEADER
TO 4'0"	2-2 X 8s
4'0" TO 6'0"	2-2 X 8s
6'0" TO 8'0"	2- 2 X 10s
8'0" TO 10'0"	2- 2 X 10s
10'0" TO 12'0"	2- 1 3/4" X 9 1/2" LVLs
SPANS OVER 10' SEE PLANS	

FOUNDATION WALLS	
	- 4" WALLS
	- 8" WALLS
ALL FDN. WALLS 8" UNO.	

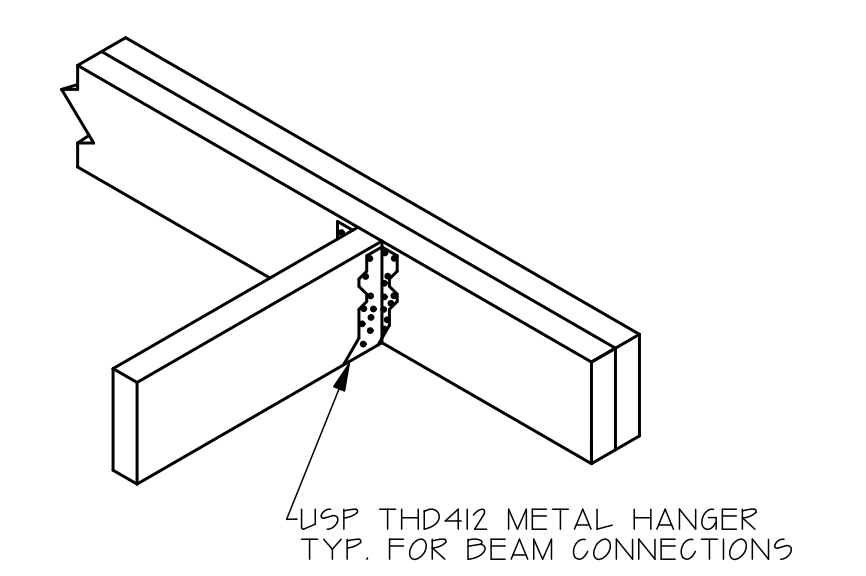
POST LOCATION	
EXTERIOR WALL	(4) 2 X 6 POST
INTERIOR WALL	(5) 2 X 4 POST

NOTE:  
ALL 2 X 6 EXTERIOR & 2 X 4 INTERIOR WALL STUDS WILL HAVE A SPACING OF 16" O.C.

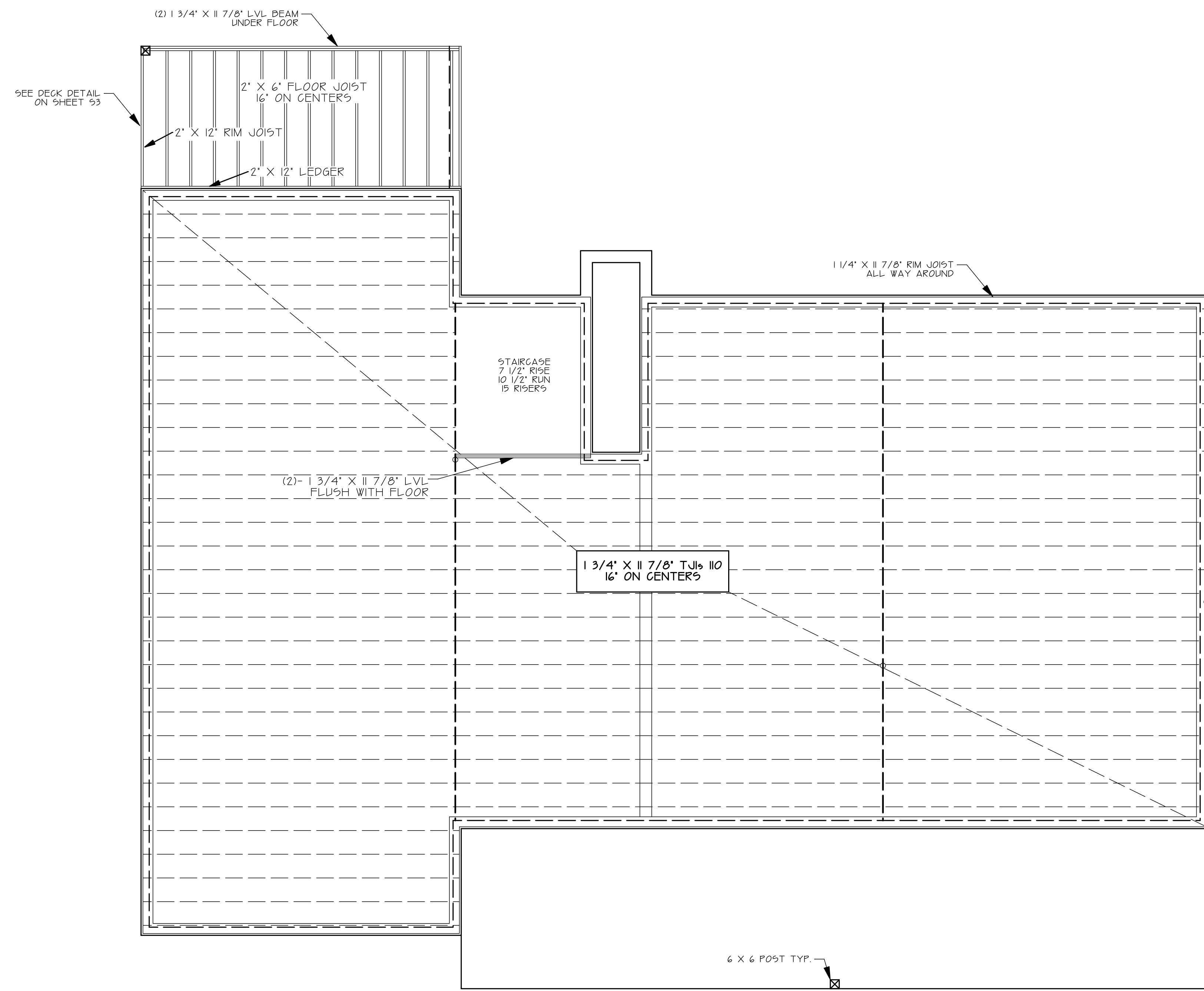
NOTE:  
HEADERS WILL BE ADJACENT TO THE HOLES THEY COVER. NO HEADERS AT THE TOP OF THE WALL.



BEAM TO POST CONNECTION  
SCALE: N.T.S.



BEAM TO BEAM CONNECTION  
SCALE: N.T.S.



**SHEAR BRACING:**

A. EXTERIOR WALL SHEATHING SHALL BE 7/16 APA RATED OSB SHEATHING ATTACHED WITH 8d NAILS AT 4' O.C. AT ALL PANEL EDGE AND 12' O.C. AT ALL INTERMEDIATE SUPPORT, UNLESS NOTED OTHERWISE. DO NOT SPLICE OSB AT CORNERS OF OPENINGS IN WALLS. ALL PANEL EDGES MUST BE BLOCKED AT EXTERIOR WALLS.

D. ROOF SHEATHING SHALL BE 15/32" OSB, NAIL AT 6' O.C. AT PANEL EDGES AND 12" AT PANEL FIELD.

C. FLOOR SHEATHING SHALL BE 3/4" APA 48X24 EXPOSURE 1 RATED TONGUE AND GROOVE PLYWOOD OR OSB EQUIVALENT, GLUE AND NAIL WITH 8d NAILS AT 6' O.C. AT PERIMETER AND 12' O.C. AT INTERMEDIATE FRAMING.

# FRAMING PLAN

**CRC CONSULTING**  
1830 IRAGOUIIS ROAD, PUEBLO, COLORADO  
PHONE: 719-924-9733

ROOF PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

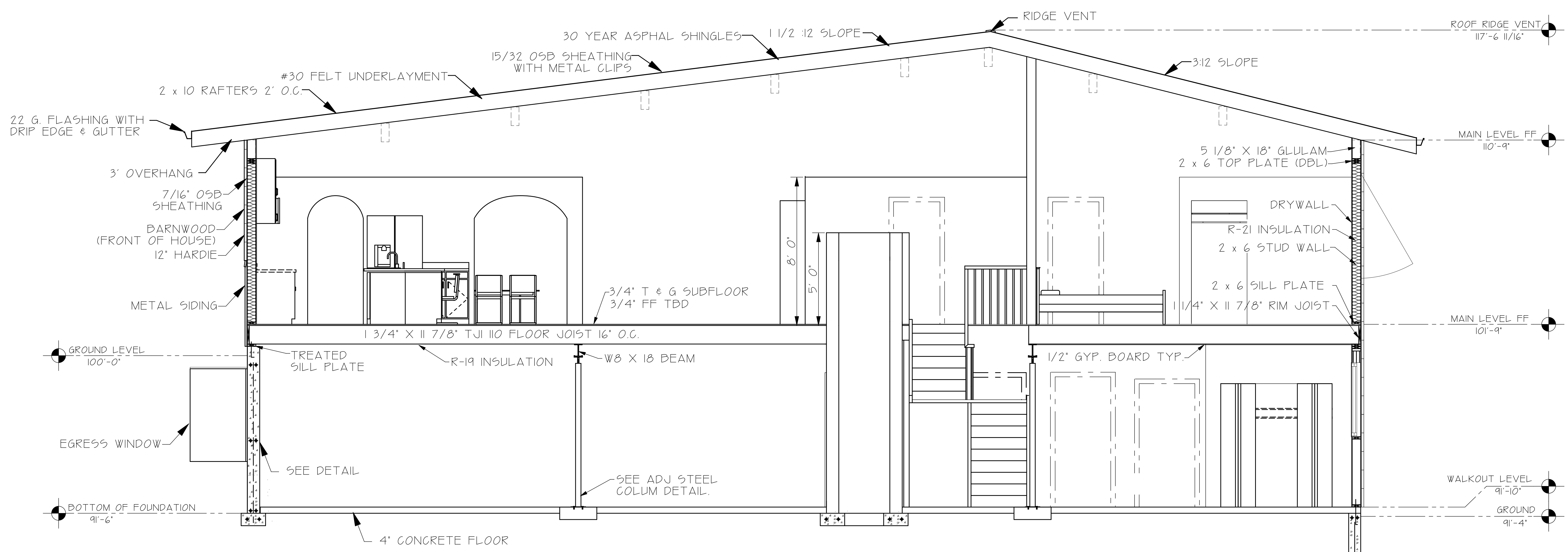
DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: A4	OF: A4

REVISIONS	DATE

**CRC CONSULTING**  
 1830 IROQUOIS ROAD, PUEBLO, COLORADO  
 PHONE: 719-924-9733

SECTION PLAN FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 6.9.20	
SCALE: 1" = 1/4"	
SHEET: A4	OF: A4



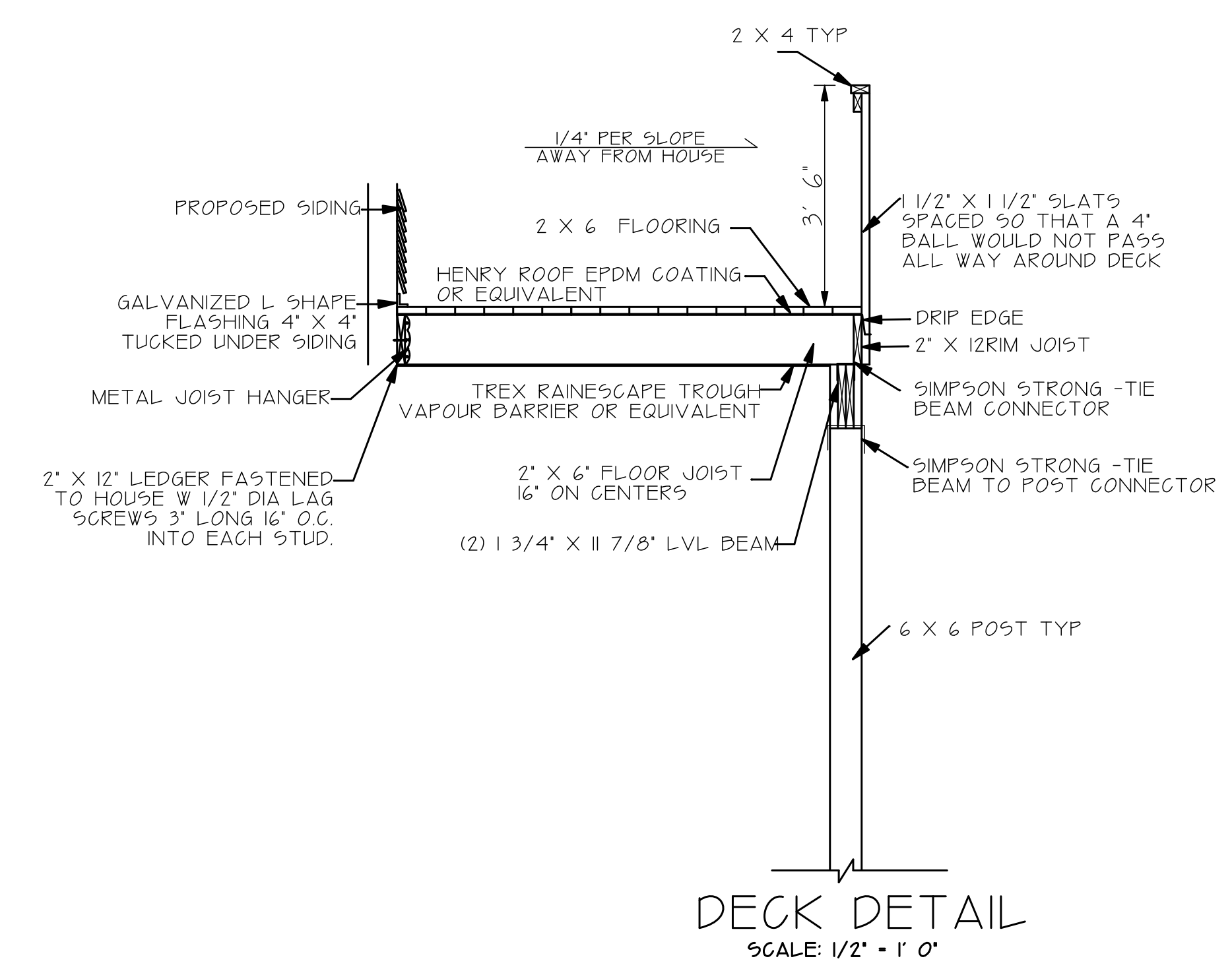
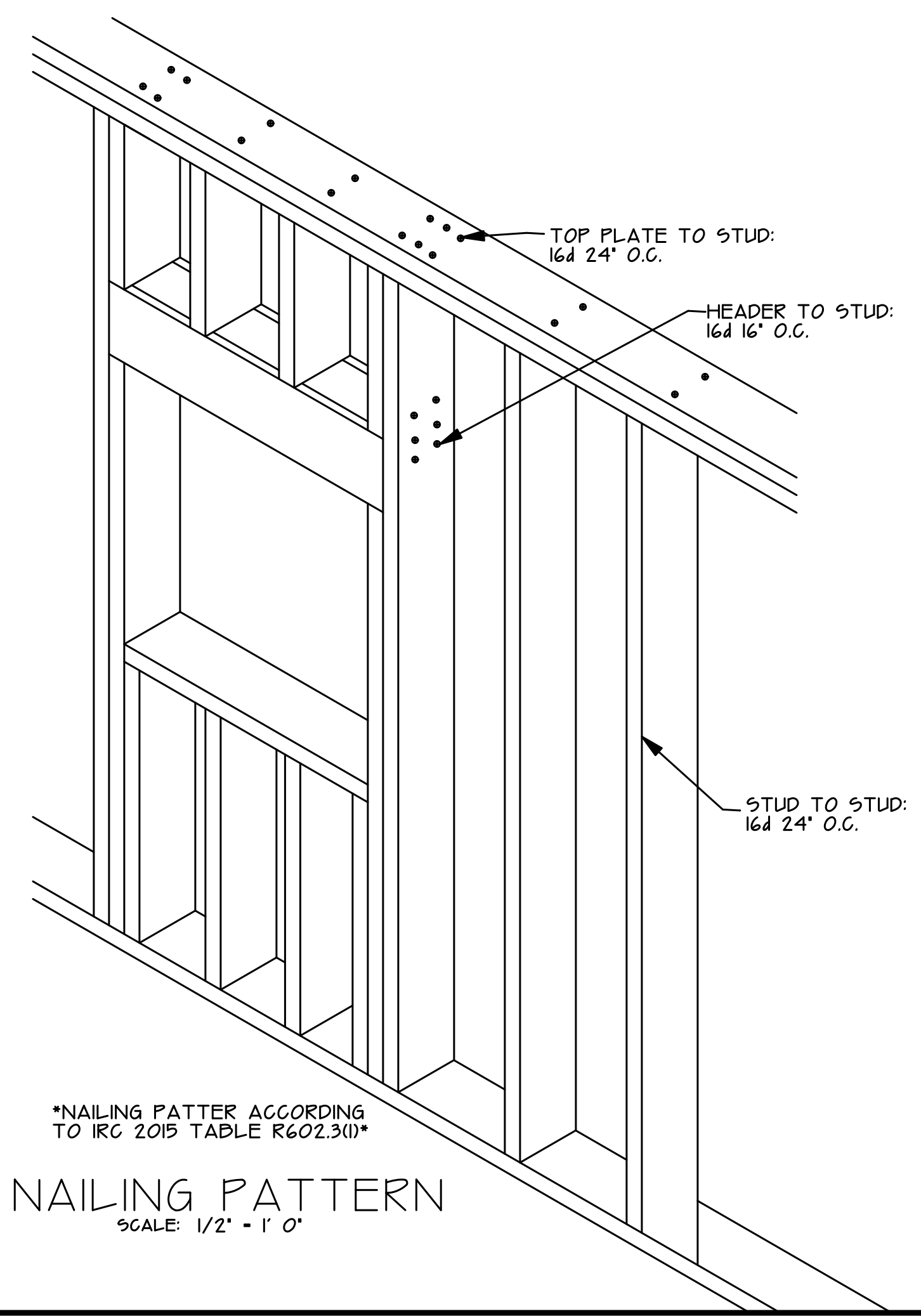
**SECTION AA**  
 SCALE: 3/8" = 1' 0"

**IECC TABLE R402.1.2**

IECC COMPLIANCE IS VIA METHOD R402.1.2 PER DESCRIPTIVE  
 030 R402.1.2  
 R20  
 BENNETT, COLORADO I CLIMATE 9B13/R17  
 PENETRATION U-FACTOR R19  
 CEILING R-VALUE R15 CONTINUOUS INT/EXT OR R19 INTERIOR CAVITY  
 WOOD FRAME WALL R-VALUE R15 CONTINUOUS INT/EXT OR R19 INTERIOR CAVITY  
 MASS ALL R-VALUE  
 FLOOR R-VALUE  
 BASEMENT R-VALUE  
 CRAWLSPACE WALL R-VALUE  
 AIR BARRIER AND INSULATION TO BE INSTALLED PER TABLE R402.4.11  
 ALL DUCTWORK IS INTERIOR TO THE BUILDING  
 PROVIDE DUCT SEALING PER IRC  
 THESE REQUIREMENTS ASSURE COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE AND THE INTERNATIONAL ENERGY CONSERVATION CODE.

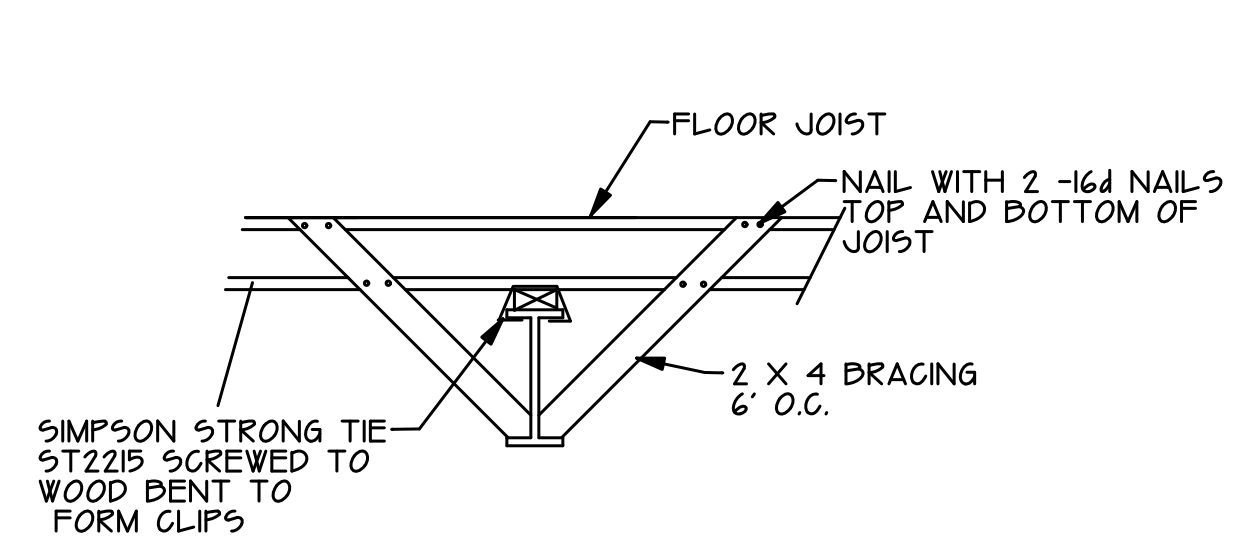
**GENERAL NOTES & SPECIFICATIONS:**

1. THIS FOUNDATION PLAN IS DESIGNED FOR A SINGLE FAMILY HOME AT 5 SAGEMORE TRAIL, BLACKHAWK, COLORADO. (PARCEL NO. 17110300025)
2. DESIGN LOADS: A. ROOF LIVE LOAD - 75 PSF, 10 PSF DEAD LOAD; B. FLOOR LIVE LOAD - 40 PSF, 10 PSF DEAD LOAD; C. 180 MPH (3 SECOND GUSTS EXPOSURE C) WIND LOAD  
 C. THE FOUNDATION SHOULD BE BASED ON SPREAD FOOTINGS WITH 2,000 LBS/PSF ACCORDING TO SUB-SURFACE EXPLORATION BY AMERICAN GEOSERVICES PROJECT #0237-D20 DATED MAY 29, 2020.
3. CONCRETE SHALL DEVELOP 3500 PSI STRENGTH IN 28 DAYS.
4. REINFORCING STEEL SHALL BE GRADE 60, REDAR, SPLICED WITH 18" OVERLAPS TO BE CONTINUOUS AROUND CORNERS.
5. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT AND REPORT ANY DISCREPANCY TO THE ENGINEER OR BE RESPONSIBLE FOR SAME.
6. FOUNDATION CONTRACTOR SHALL CHECK AND REVIEW UPPER ARCHITECTURAL FLOOR PLAN FOR DOOR, DUCT, STAIR, AND MISCELLANEOUS BLOCKOUTS AND BE RESPONSIBLE FOR SAME.
7. #2 HEM-FIR OR BETTER WILL BE USE IN CONSTRUCTION OF HOUSE
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE ADOPTED BY GILPIN COUNTY, COLORADO.

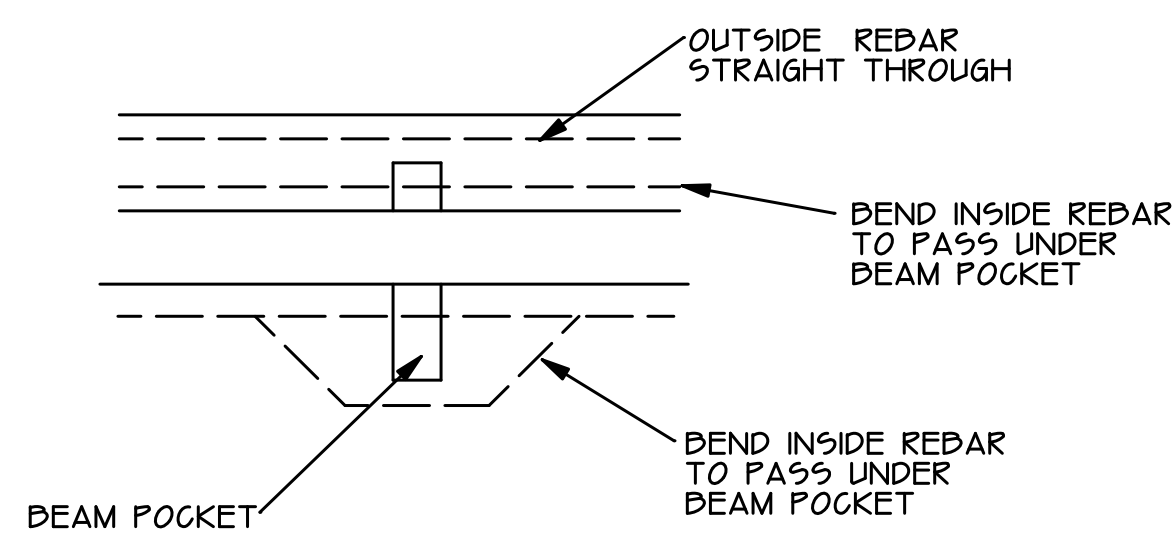


**DECK DETAIL**  
 SCALE: 1/2" = 1' 0"

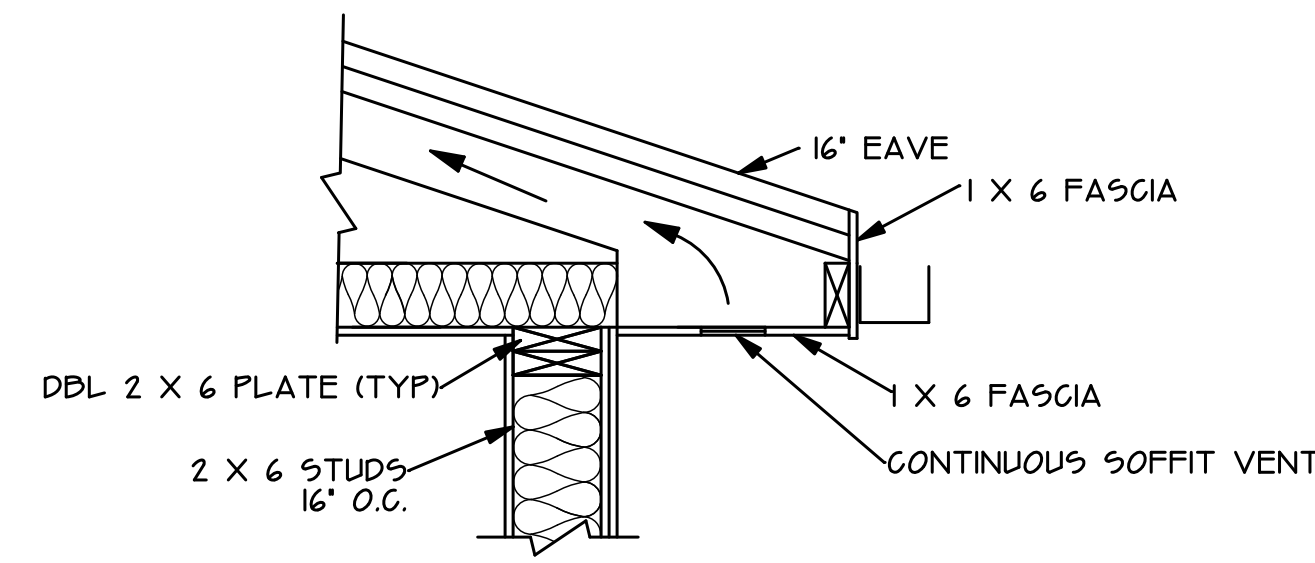
**SECTIONS**



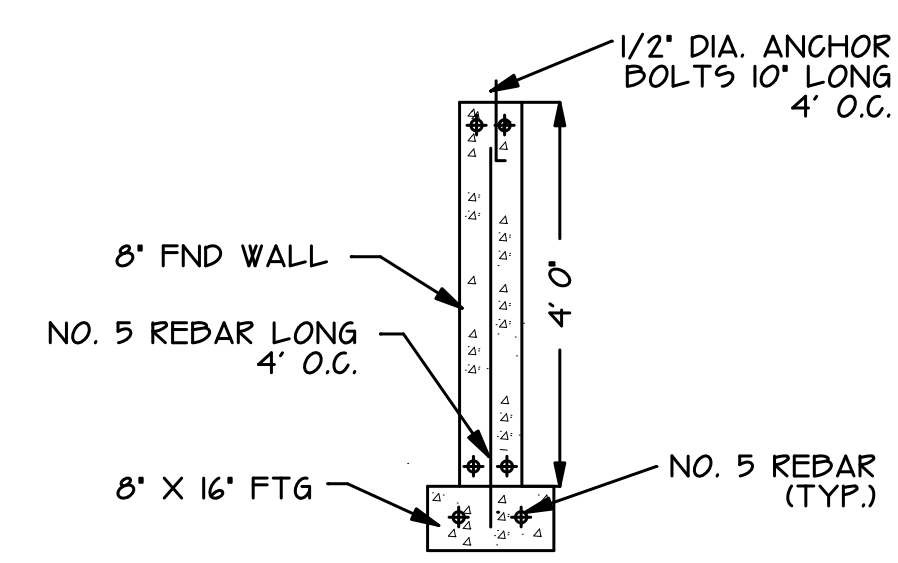
BEAM BRACING  
SCALE: 1/2" = 1' 0"



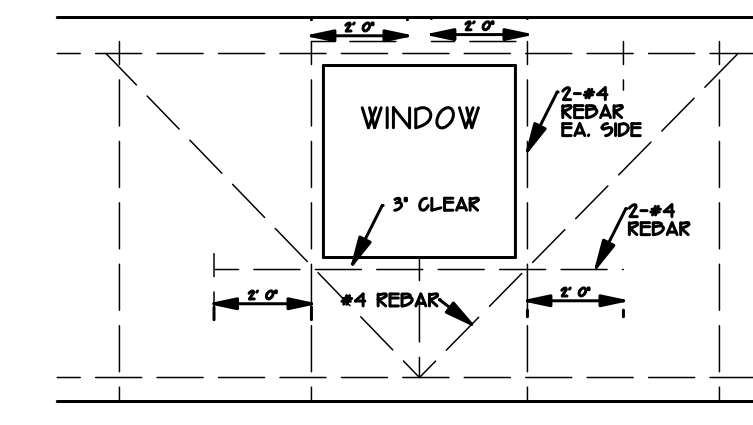
BEAM POCKET REBAR DETAIL  
SCALE: N.T.S.



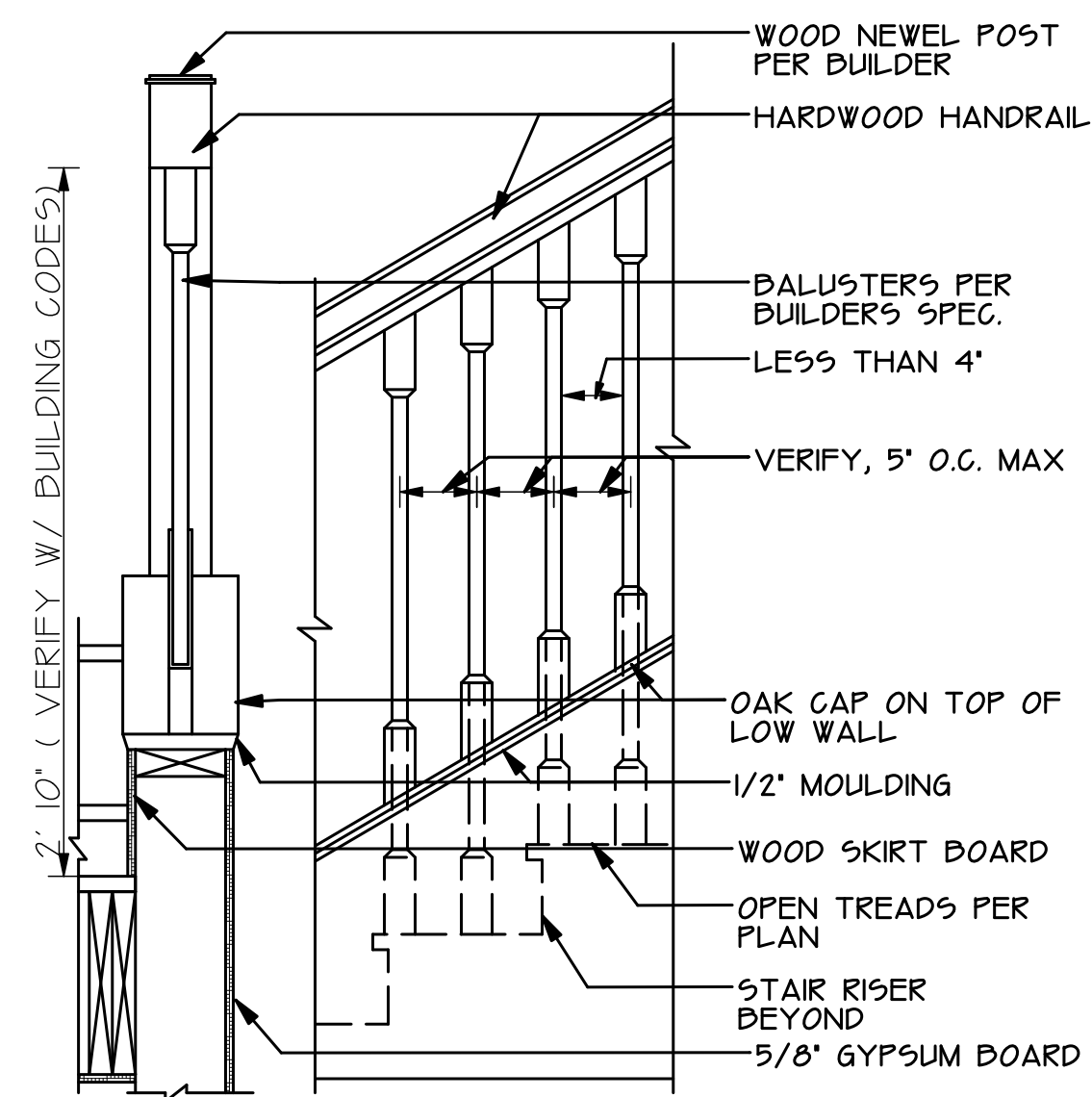
EAVE DETAIL  
SCALE: 1" = 1' 0"



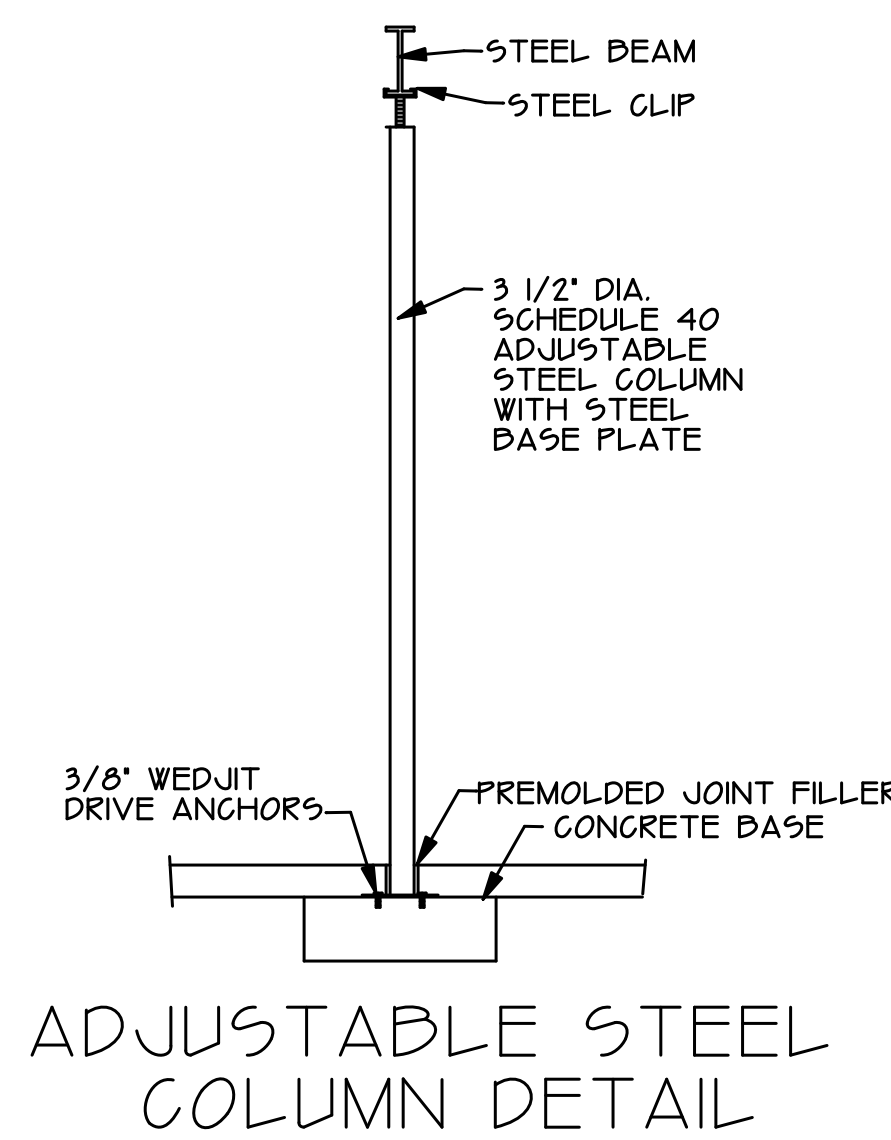
WALK-OUT/COVERED PATIO BASEMENT WINDOW DETAIL WALL SECTION  
SCALE: 1/2" = 1' 0"



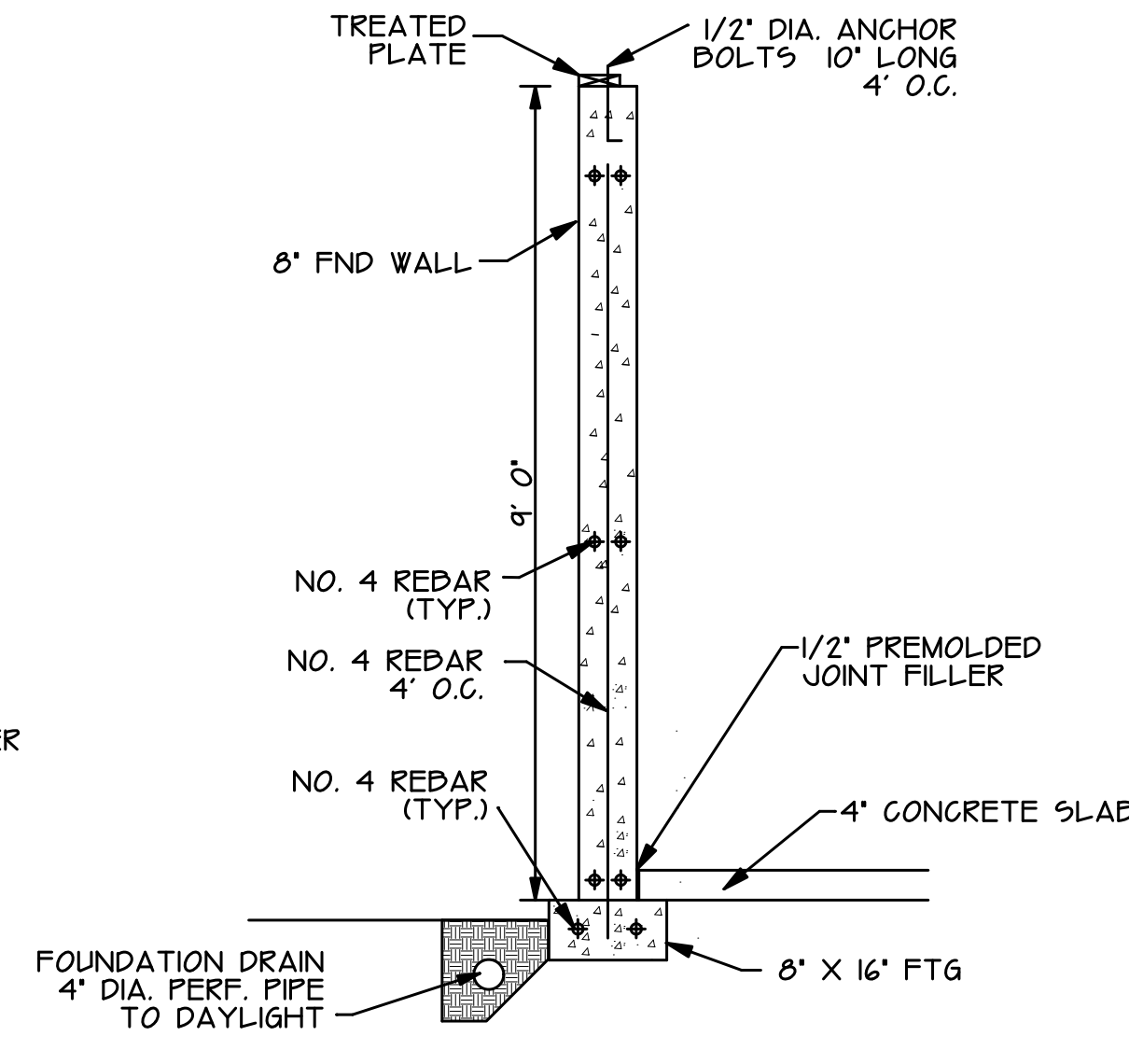
SCALE: 1/4" = 1' 0"



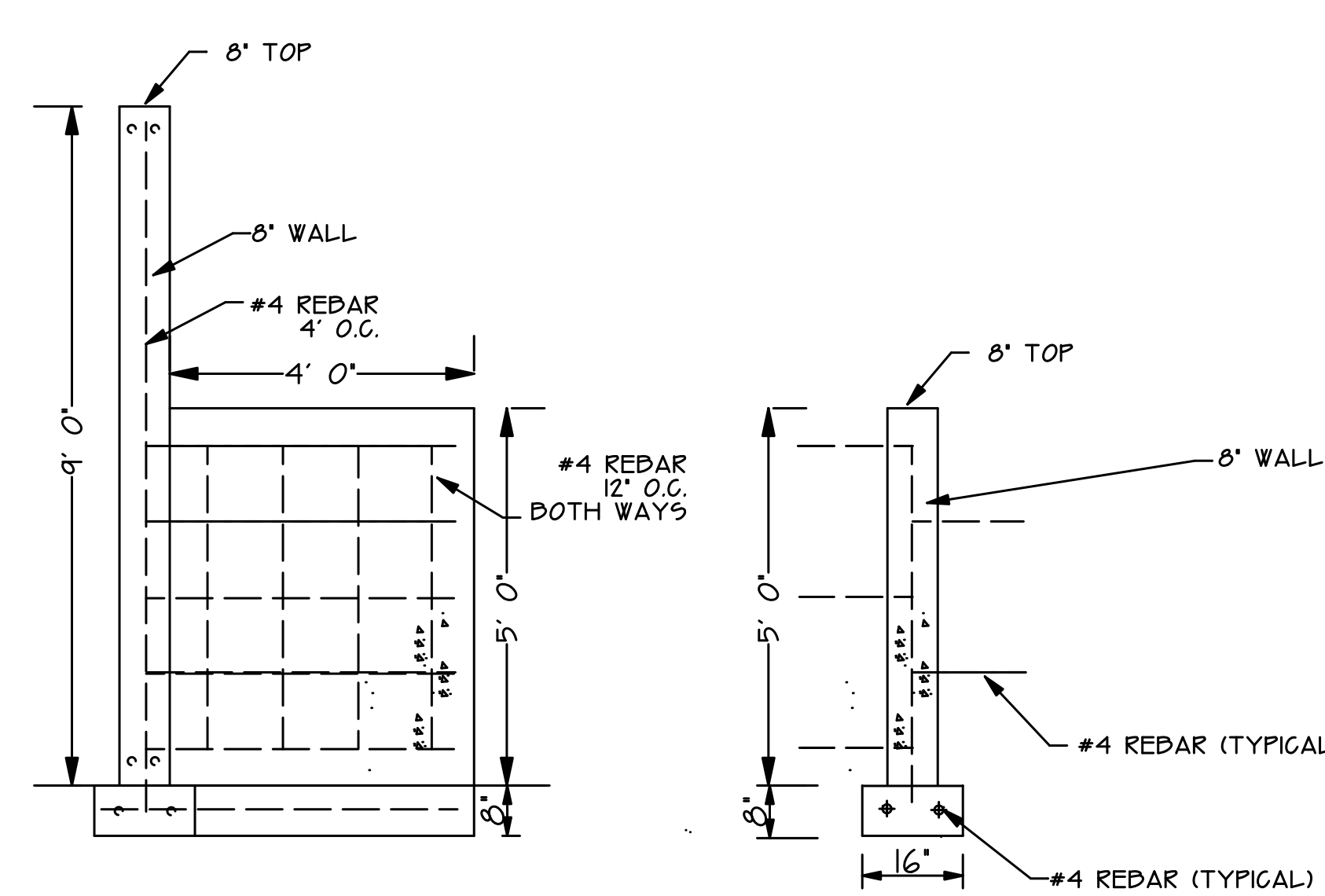
INTERIOR STAIR RAILING  
SCALE: 1" = 1' 0"



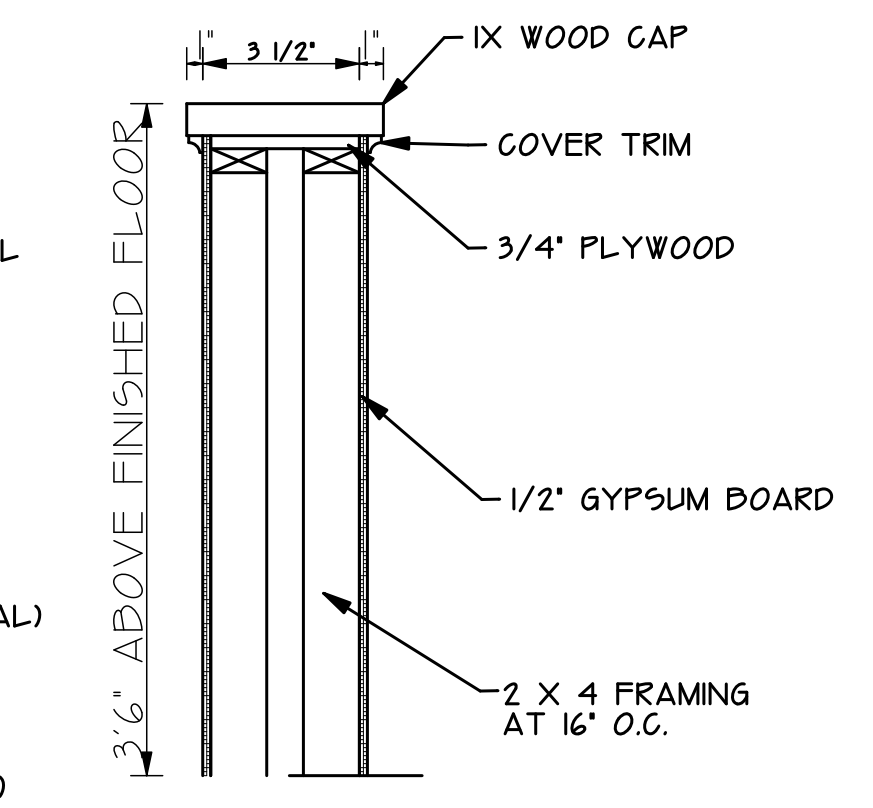
ADJUSTABLE STEEL COLUMN DETAIL  
SCALE: 1/2" = 1' 0"



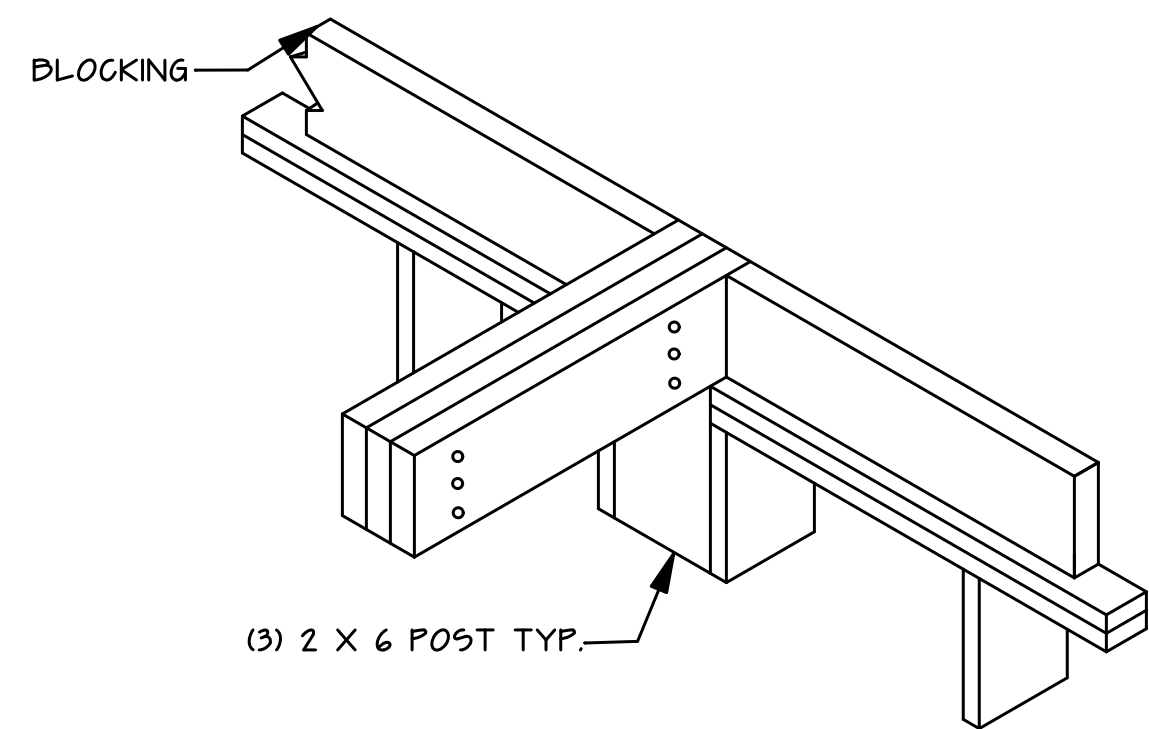
BASEMENT FOUNDATION WALL SECTION  
SCALE: 1/2" = 1' 0"



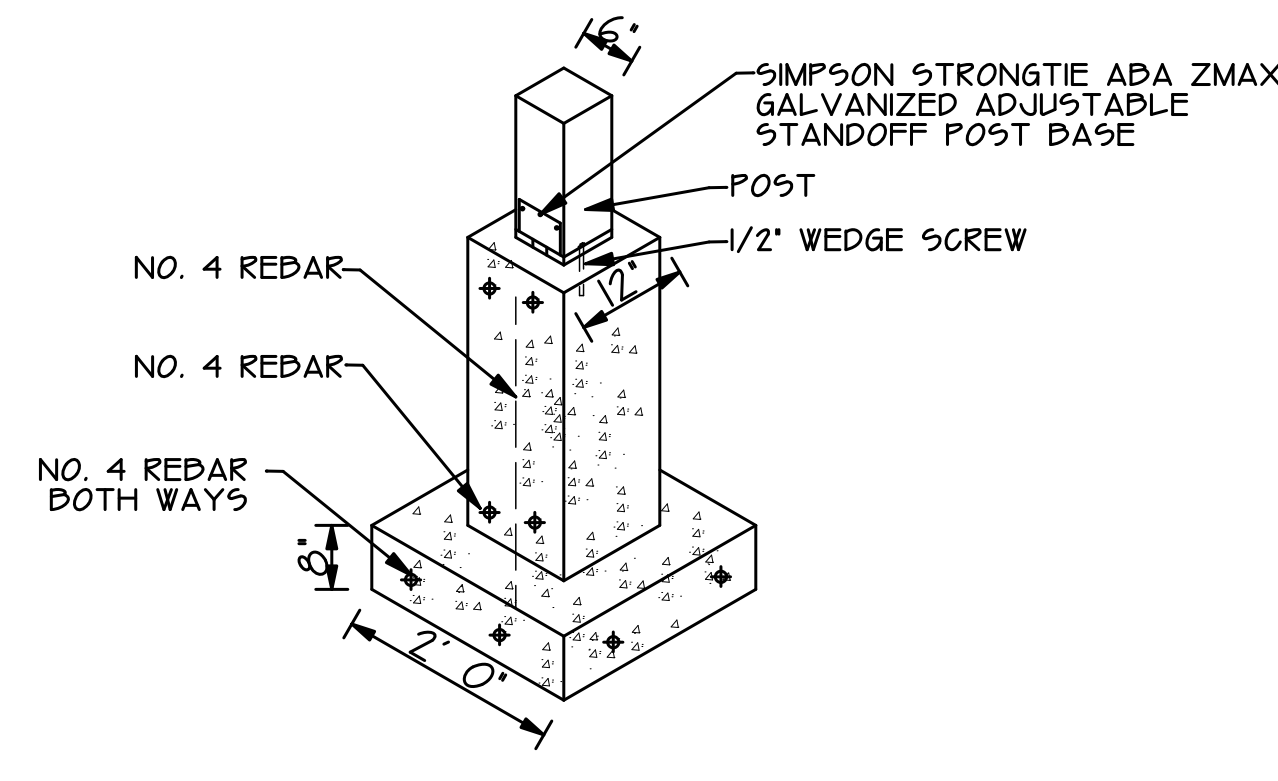
COUNTERFORT DETAIL  
SCALE: 1/2" = 1' 0"



HALF WALL  
SCALE: 1" = 1' 0"



BEAM TO WALL CONNECTION  
SCALE: N.T.S.



POST BASE DETAIL  
SCALE: 1/2" = 1' 0"

SHEAR BRACING:

A. EXTERIOR WALL SHEATHING SHALL BE 7/16 APA RATED OSB SHEATHING ATTACHED WITH #4 NAILS AT 4' O.C. AT ALL PANEL EDGE AND 12' O.C. AT ALL INTERMEDIATE SUPPORT, UNLESS NOTED OTHERWISE. DO NOT SPLICE OSB AT CORNERS OF OPENINGS IN WALLS. ALL PANEL EDGES MUST BE BLOCKED AT EXTERIOR WALLS.

B. ROOF SHEATHING SHALL BE 15/32" OSB, NAIL AT 6' O.C. AT PANEL EDGES AND 12' AT PANEL FIELD.

C. FLOOR SHEATHING SHALL BE 3/4" APA 48X24 EXPOSURE 1 RATED TONGUE AND GROOVE PLYWOOD OR OSB EQUIVALENT, GLUE AND NAIL WITH #4 NAILS AT 6' O.C. AT PERIMETER AND 12' O.C. AT INTERMEDIATE FRAMING.

CONNECTION OF MULTIPLE LVL'S:

THE MULTIPLE LVL'S FASTENED TOGETHER WILL REQUIRE 12# NAILS PLACED AT 12" APART ALONG THE BEAM. 2 LVL'S WILL REQUIRE 2 ROWS OF NAILS SPACED 2" FROM TOP AND BOTTOM. 3 LVL'S WILL REQUIRE 3 ROWS OF NAILS SPACED 2" FROM TOP AND BOTTOM AND ONE ROW DOWN THE CENTER.

REVISIONS	DATE

**CRC CONSULTING**  
1830 IRONWOOD ROAD, PUEBLO, COLORADO  
PHONE: 719-924-9733

DETAIL SHEET  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

DRAWN BY: EF

CHECKED BY: CRC

DATE DRAWN: 6.9.20

SCALE: 1" = 1/4"

SHEET: A4 OF: A4

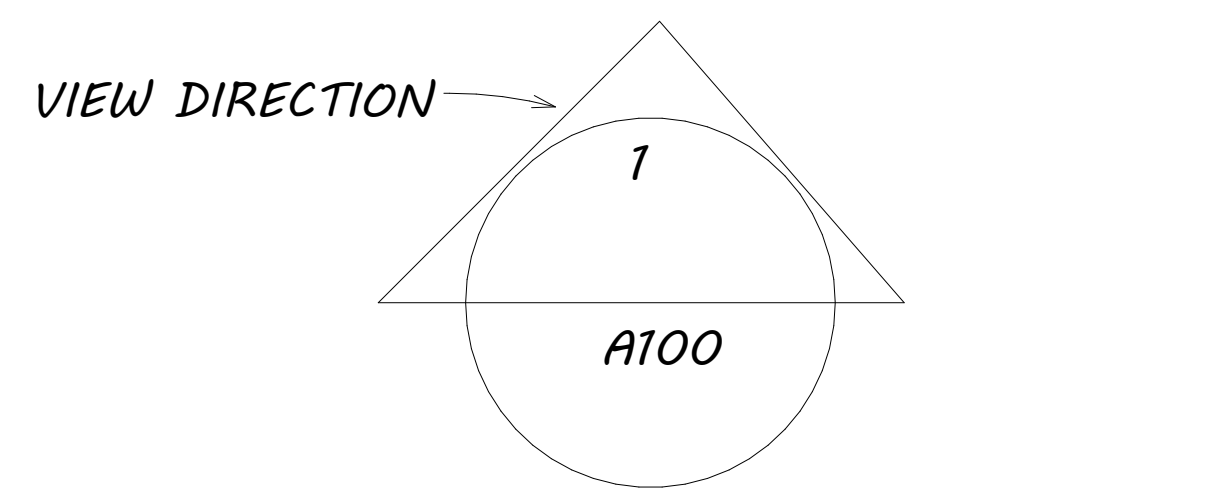
**DETAILS**

# NEW HOME OFFICE FOR GILPIN COUNTY COLORADO 5 SAGEMORE TRAIL (BLACKHAWK)

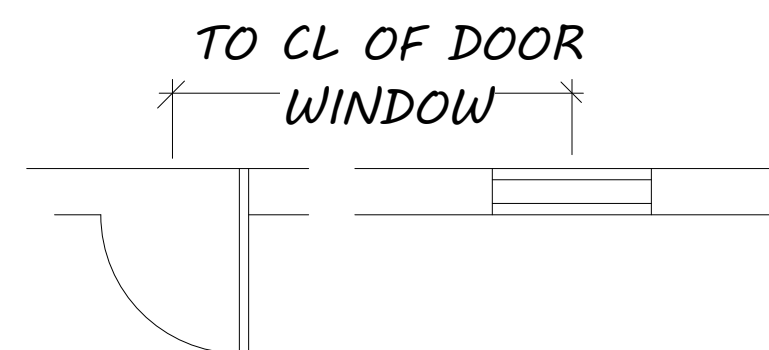
## SPECIFICATIONS

- 1-) DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL DIMENSIONS GIVEN TO FACE OF STUD.
- 2-) ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.
- 3-) CONTRACTOR SHALL EXAMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS BOTH ON THE PLAN AND IN THE FIELD, AND/OR CORRECTIONS.
- 4-) OWNER TO PROVIDE:
  - HVAC
  - TRUSS COMPANY
  - SOIL TESTS
  - MECHANICAL PLANS
  - EXACT SPECIFICATIONS
  - COLOR SELECTIONS
  - LANDSCAPING PLANS
  - FIELD SUPERVISION
- 5-) CONTRACTOR SHALL VERIFY EXISTING SOIL CONDITION AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES TO THE ASSUMPTIONS OF THE SOIL REPORT. PROVIDE CONTROL JOINTS AT ALL SLAB CONDITIONS.
- 6-) PROVIDE TEMPERED GLASS AT SLIDING DOORS AND AREAS SUBJECT TO HUMAN IMPACT SHALL BE PER LOCAL CODE. SAFETY GLAZING IS REQUIRED IN WINDOWS WITHIN A 24" ARC OF A DOOR AND LESS THAN 60' ABOVE THE FLOOR, WITHIN 3' OF STAIRS AND LANDINGS WHEN THE BOTTOM EDGE IS LESS THAN 60' ABOVE THE FLOOR (5' IN ANY DIRECTION FROM THE BOTTOM TREAD) AND ADJACENT TO BATHTUBS OR SHOWERS WHEN LESS THAN 60" ABOVE THE WALKING/ STANDING SURFACE.
- 7-) ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED AREAS ABOVE GRADE SHALL BE WEATHER STRIPPED.
- 8-) INSULATION- PER TABLE INSULATION AND FENESTRATION REQUIREMENTS
  - MIN. R-49 IN ALL ROOF AREA
  - MIN. R-20 IN ALL EXTERIOR WALLS
  - MIN. R-19 IN ALL JOIST SPACES
  - MIN. R-15/R-19 IN ALL BASEMENT WALLS
  - MIN. R-15/R-19 IN ALL CRAWLSPACE AREAS
- 9-) PROVIDE COMBUSTION AIR TO FURNACE AND WATER HEATER PER LOCAL BUILDING CODE.
- 10-) EXTERIOR OPENINGS EXPOSED TO WEATHER (IE CONCRETE SLAB) SHALL BE FLASHED TO PREVENT WATER PENETRATING THE FOUNDATION.
- 11-) PROVIDE ROOF VENTILATION AS REQUIRED PER SECTION R806.
- 12-) PROVIDE 5/8" TYPE- X GYP. BOARD UNDER STAIRS IF SPACE IS ENCLOSED.
- 13-) INSTALL GUTTERS AT ALL HORIZONTAL FASCIAS PER CODE. DOWNSPOUTS TO HAVE 4" ADJUSTABLE EXTENDERS TYP. ALL EXPOSED METAL SHALL BE PAINTED TO MATCH COLOR OF SURFACE.
- 14-) ALL TUB AND SHOWER ENCLOSURES SHALL BE FINISHED WITH NON-ABSORBENT SURFACES AND FIXTURE PENETRATIONS TO BE SEALED.
- 15-) SHOWERS AND TUB/SHOWER COMBINATIONS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS ARE REQUIRED AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER MAXIMIZED WATER SETTING OF 120 DEGREES.
- 16-) EVERY SLEEPING ROOM SHALL HAVE ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE. WHERE SUCH WINDOWS ARE APPROVED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND THE OPENING SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 20", A MINIMUM CLEAR HEIGHT OF 24", AND A CLEAR OPENING OF 5.7 SQFT PER SECTION R310.
- 17-) MAXIMUM BASEMENT SILL HEIGHT SHALL BE 44" ABOVE FLOOR, AND MAX. WELL DEPTH SHALL BE 44" BELOW GRADE. EGRESS WINDOWS FROM THE BASEMENT MUST BE PROVIDED WITH AN EGRESS WINDOW WELL ID THE WINDOW HEIGHT MUST HAVE A MIN. CLEAR AREA OF 9SQFT. AND A MIN. HORIZONTAL PROJECTION AND WIDTH OF 36". IF THE WINDOW WELL GREATER THAN 44" DEEP, IT SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION OR ENCR OACH MORE 6" INTO THE CLEAR AREA. PER SECTION R310.
- 18-) PROVIDE 4" DIA. MOISTURE EXHAUST DUCT FOR CLOTHES DRYER. LENGTH SHALL NOT EXCEED 25'. SEE SECTION M1501.
- 19-) PROVIDE ACCESS PANEL TO WHIRLPOOL TUB PER SEC-P2720-1
- 20-) ALL BASEMENT DAMP PROOFING TO BE PER SECTION R406 AND SPRAYED ON BASEMENT AND CRAWL SPACE EXTERIOR SURFACES.
- 21-) BATHROOMS AND WATER CLOSET AREAS MUST BE VENTILATED PER SECTION M1506.
- 22-) FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURE'S INSTALLATION INSTRUCTIONS. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.
- 23-) O FUEL FIRE EQUIPMENT (FURNACE, WATER HEATER, ETC.) MUST BE PROVIDED WITH ADEQUATE OUTSIDE COMBUSTION AIR. A MIN. OF TWO DUCTS OR OPENINGS IS REQUIRED: ONE WITHIN 12" OF THE CEILING AND ONE WITHIN 12" OF THE FLOOR. THE MIN. SIZE OF THE DUCTS IS DETERMINED BY THE COMBINED BTU RATINGS OF THE EQUIPMENT SERVED. SEE CHAPTER 17, IRC FOR FURTHER INFORMATION.

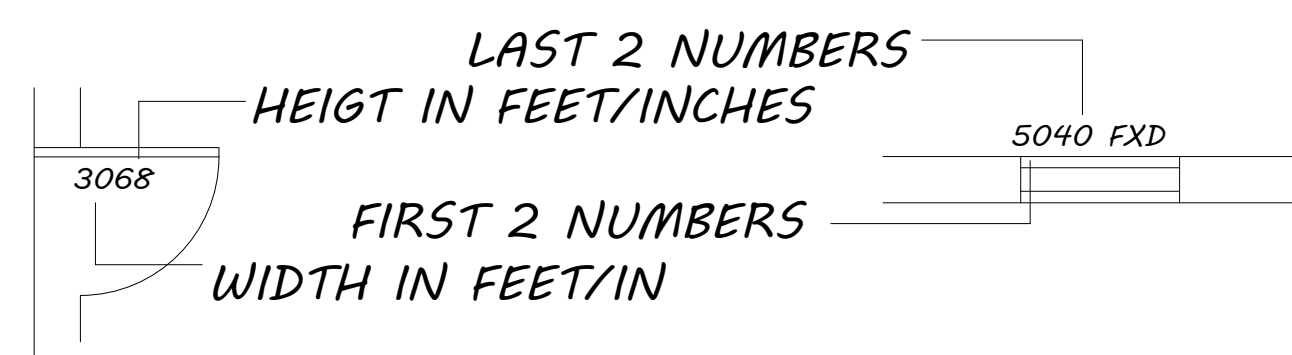
## SYMBOL LEGEND



BUILDING SECTION



DIMENISONS



## CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH GILPIN COUNTY CODES 2015 IBC, 2015 IMC, 2015 IFG, 2015 IFGC, 2015 IECC, 2015 IPMC, 2015 IEBC, 2015 IPC, 2015 NEC AND ALL APPLICABLE LOCAL ORDINANCES OF BLACKHAWK.

## LEGAL DESCRIPTION

## ABBREVIATIONS

AB	ANCHOR BOLT
ADJ	ADJUSTABLE
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONC. MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CONN	CONNECTION
CPT	CARPET
DBL	DOUBLE
DF	DOUGLAS- FIR
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
EQ	EQUAL
EW	EACH WAY
FD	FLOOR DRAIN
FDN	FOUNDATION
FF	FINISHED FLOOR
FLR	FLOOR
FT	FEET
GA	GAUGE
GL	GLASS
LG	LONG
LT	LIGHT
ML	MICRO- LAM
MTL	METAL
OC	ON CENTER
OHC	OVERHEAD CABINET
PL	TOP PLATE
PT	PRESSURE TREATED
RAD	RADIUS
R&S	ROD AND SHELF
S&P	SHELF AND POLE
SH	SHELF
SHWR	SHOWER
SIM	SIMILAR
SQ	SQUARE
STL	STEEL
TOF	TOP OF FOUNDATION
TOS	TOP OF SLAB
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHER WISE
WD	WOOD

## STAIR INFORMATION

- 1- STAIRWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES ABOVE THE PERMITTED HANDRAIL HEIGHT (34"-38") (SECTION R311-7-1)
- 2- TREADS SHALL BE AT LEAST 10 INCHES DEEP, RISERS SHALL NOT BE GREATER THEN 7 3/4" IN HEIGHT AND THE TREAD OR RISER VARIANCE SHALL NOT EXCEED 3/8" WITH ANY FLIGHT OF STAIRS. (SECTIONS R311-7-5-1 & R311-7-5-2)
- 3- STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
- 4- ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.
- 5- STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
- 6- HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
- 7- STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
- 8- GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW AND SHALL HAVE A 34" MIN. HEIGHT
- 9- RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
- 10- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

## SHEET INDEX

C1 COVER SHEET

## SITE SHEET

SPI SITE PLAN

## ARCHITECTURAL

A1 MAIN FLOOR & SECOND FLOOR  
A2 ROOF & DIMENSIONS  
A3 VIEWS

## ELECTRICAL

E1 MAIN FLOOR & SECOND FLOOR

## STRUCTURAL

S1 CRAWLSPACE FOUNDATION PLAN, MAIN & SECOND FLOOR FRAMING SECTION PLAN  
S2 SECTION PLAN  
S3 DETAIL SHEET

## AREA

CRAWLSPACE	576	SQUARE FEET
MAIN FLOOR	576	SQUARE FEET
SECOND FLOOR	535	SQUARE FEET
PORCH	120	SQUARE FEET
DECK	120	SQUARE FEET
TOTAL	1,927	SQUARE FEET

## SITE INFORMATION

BUILDING FORM- NEW HOUSE  
ZONE LOT AREA- \*\*\*\* ACRE  
ZONE LOT WIDTH- \*\*\*\*

PROPOSED STRUCTURE- FULL HOUSE  
PRIMARY FOOTPRINT- 576 SQ FT  
TOTAL FOOTPRINT- 1,927 SQ FT  
PROPOSED COVERAGE- \*\*\*\*%

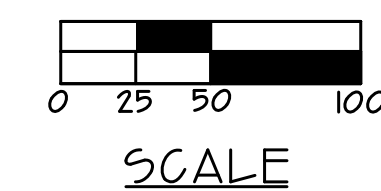
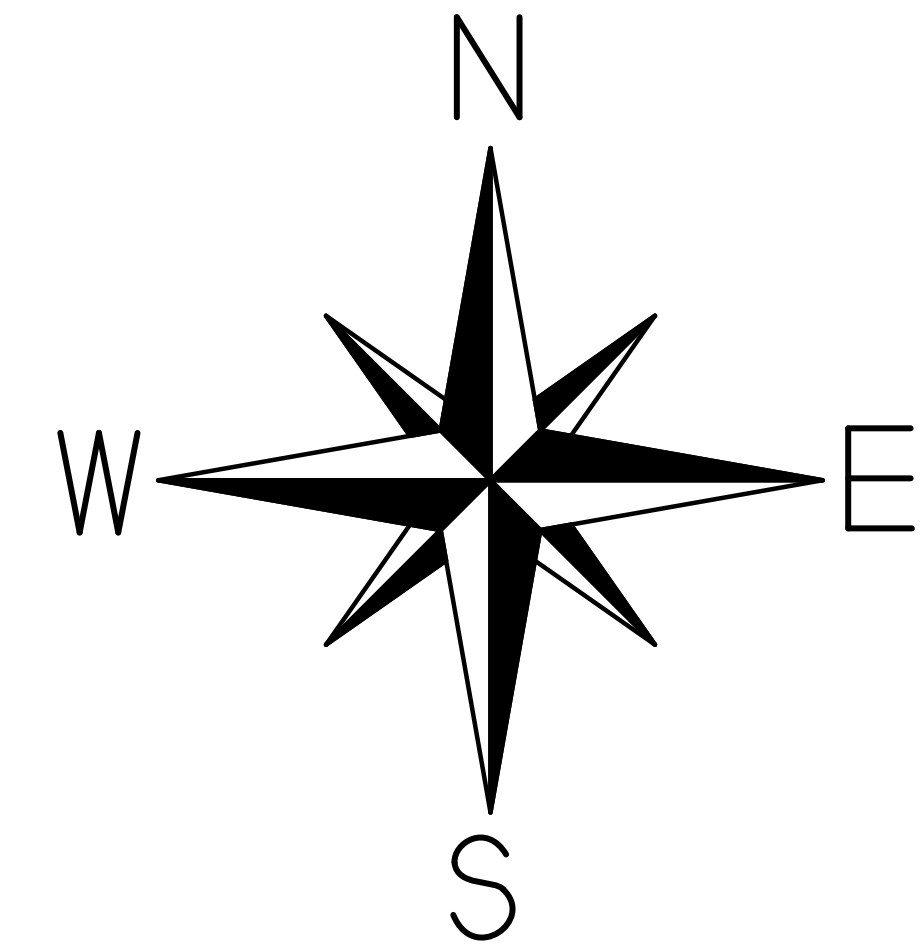
PROPOSED USE- RESIDENCE

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

COVER PAGE FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	6.2.20
Drawn by	EF
Checked by	DJN
Scale	
Sheet:	OF:
C1	C1



### SITE NOTES

1. ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.
2. CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER AND ARCHITECT PRIOR TO EXCAVATIONS.
3. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
4. (T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.
5. SEWER INVERT ELEVATION IS TO BE VERIFIED FOR THE POSSIBILITY OF A LIFT STATION NECESSARY FOR BASEMENT SERVICE.
6. ANY GRADING SHOWN IS ONLY A GUIDE AND SHALL NOT BE USED FOR CALCULATING EXACT EXCAVATION QUANTITIES.
7. AN OPEN HOLE INSPECTION PERFORMED BY A LICENSED CIVIL ENGINEER IS HIGHLY RECOMMENDED TO VERIFY THAT SOILS ENCOUNTERED MATCHES THAT DESCRIBED IN THE SOILS REPORT.
8. IT IS RECOMMENDED THAT BASEMENTS FOUNDED ON EXPANSIVE SOILS NOT BE FINISHED UNTIL THE RECOMMENDATION OF THE FOUNDATION ENGINEER.
9. WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4" PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A SUMP THEN PUMPED AWAY FROM THE FOUNDATION.
10. ALL EXTERIOR CONG. FLATWORK TO BE A MIN. ( 4" THICK 3,000 psi CONG. W/ FIBER MESH) OVER 2" THICK GRAVEL OR COMPACTED SAND BASE OVER PROPERLY COMPACTED GRADE. VERIFY FINISH W/ OWNER.
11. SITE PLAN IS BASED UPON FINAL PLAT DRAWING PROVIDED BY AMERICAN WEST LAND SURVEYING CO.
12. ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

# SITE PLAN

REVISIONS	DATE

**CRC CONSULTING**  
 1830 IROQUOIS ROAD, FUEBLO, COLORADO  
 PHONE: 719-924-9733

SITE PLAN FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

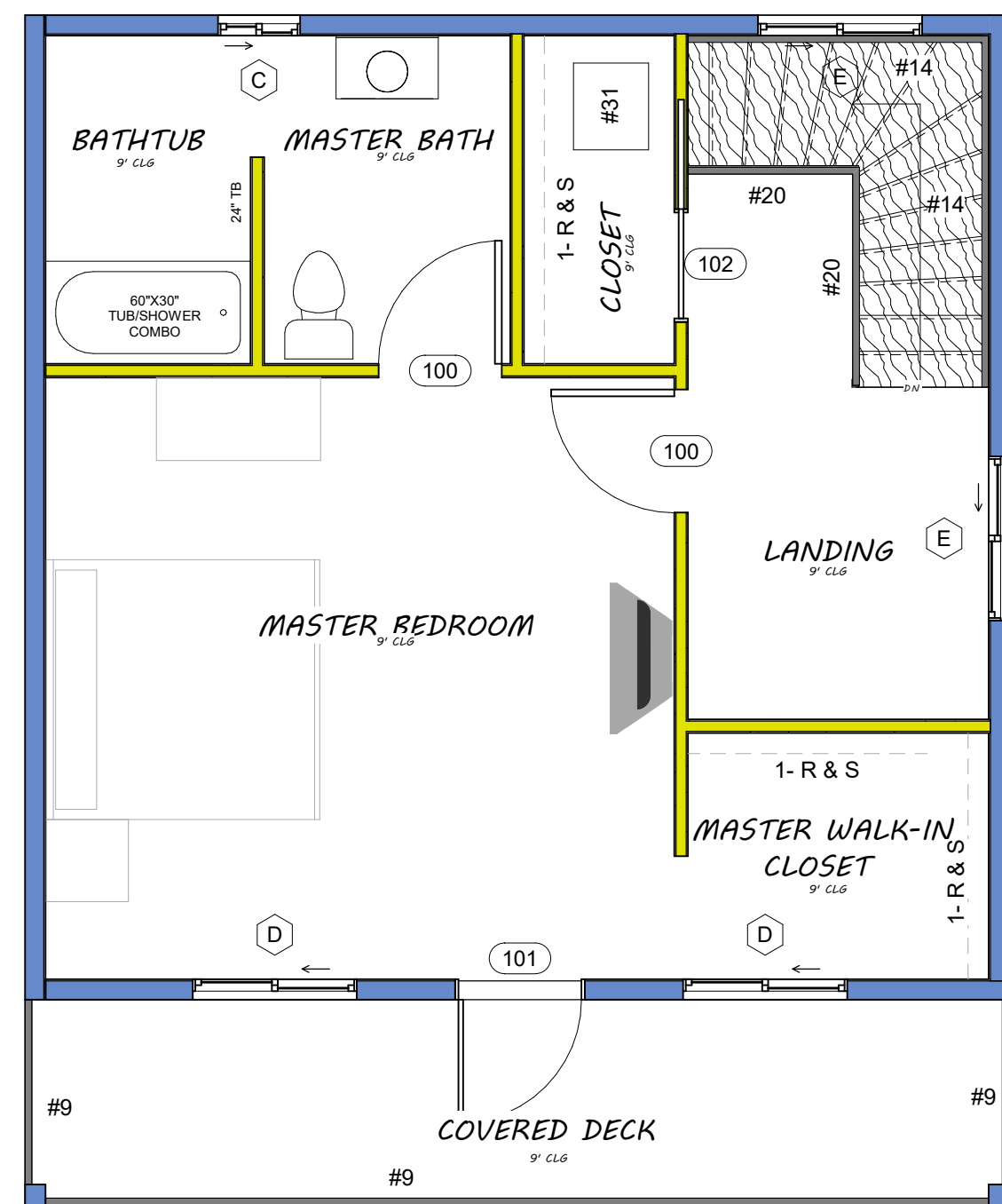
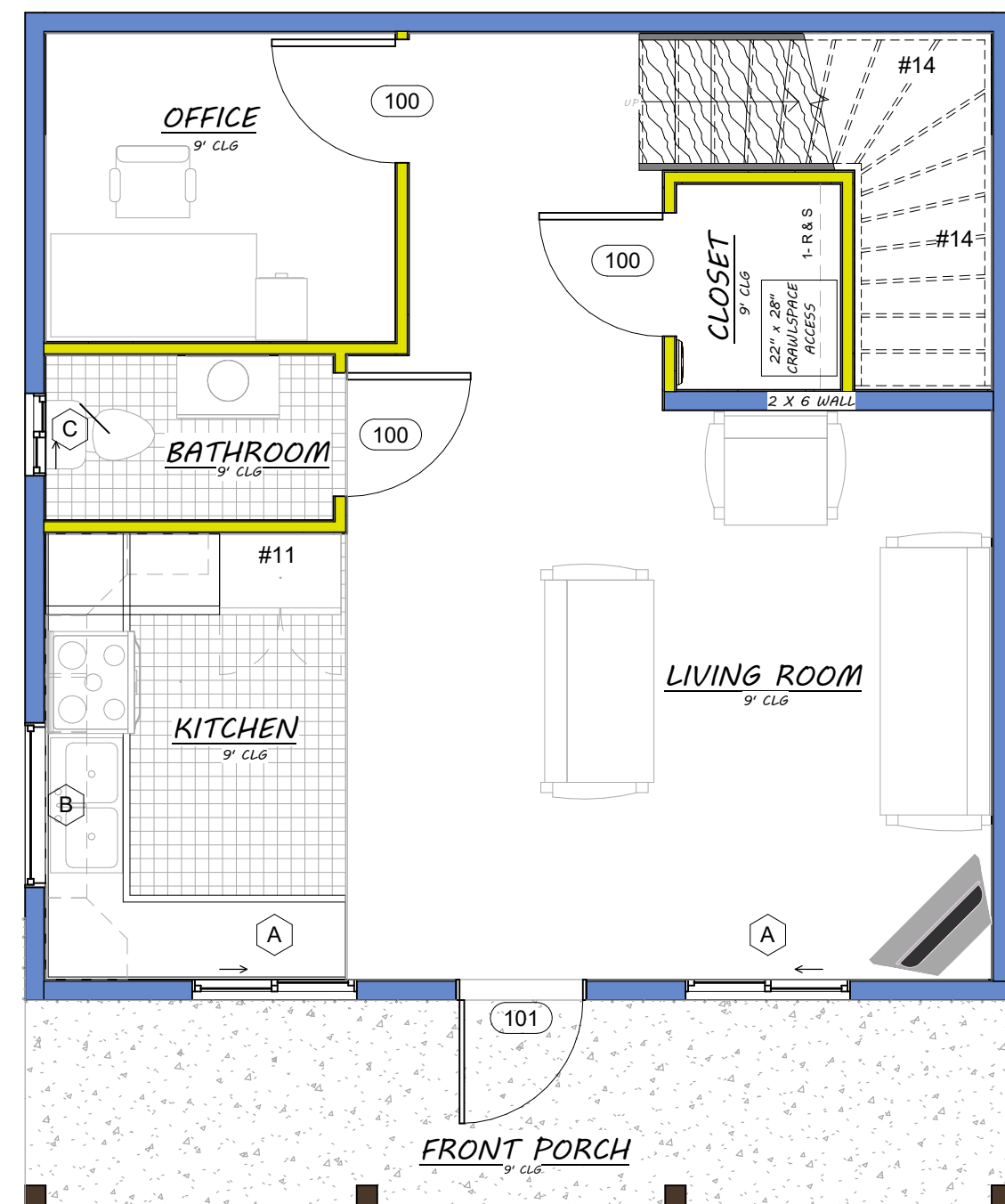
DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: ***	
SCALE: 1" = 1/4"	
SHEET: SPI	OF: SPI

## CONSTRUCTION ASSEMBLIES

- A- **TYPICAL ROOF CONSTRUCTION**  
COMPOSITION ROOF SHINGLES ON ROOFING UNDERLAYMENT ON EXTERIOR ROOF SHEATHING ON ROOF FRAMING MEMBERS AS NOTED ON STRUCTURAL DRAWINGS. CEILING: GYPSUM BOARD.
- B1- **TYPICAL SIDING WALL CONSTRUCTION**  
SIDING ON WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWING. INTERIOR, GYPSUM BOARD.
- B2- **TYPICAL BRICK VENEER WALL CONSTR.**  
BRICK VENEER W/ 1" AIR SPACE; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR: GYPSUM BOARD.
- B3- **TYPICAL STONE VENEER WALL CONSTR.**  
ADHERED STONE VENEER; ATER RESISTANCE BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR: GYPSUM BOARD.
- B4- **TYPICAL STUCCO WALL CONSTR.**  
STUCCO W/ CORROSION RESISTANT METAL LATH; WATER RESISTANT BARRIER ON EXTERIOR WALL SHEATHING ON 2 X 4 OR 2 X 6 STUDS AS SHOWN ON ARCHITECTURAL & STRUCTURAL DRAWINGS. INTERIOR : GYPSUM BOARD
- C- **TYPICAL FLOOR CONSTRUCTION**  
FINISHED FLOORING ON 3/4" FLOOR SHEATHING ON I-JOISTS AS NOTED ON STRUCTURAL DRAWINGS. MAIN FLOOR CEILING GYPSUM BOARD.
- SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION AND FOR FOUNDATION WALL, BASEMENT FLOOR & GARAGE FLOOR CONSTRUCTION

## FLOOR PLAN NOTES

- LINE OF FRAMING ABOVE
  - ALL EXTERIOR WALLS ARE 2X6 ROUGH CUT AND INTERIOR WALLS ARE 2X4 ROUGH CUT UNLESS NOTED OTHERWISE.
  - ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
  - ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/ OR GIRDER TRUSSES UNLESS NOTED OTHERWISE ON PLANS
  - TRUSS MFG. TO SIZE MEMBERS FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES
  - WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5-7 SQ. FT. WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR.
  - BALLOON FRAME ALL EXTERIOR WALLS (ABOVE 9'1") RO UNDERSIDE OF ROOF SHEATHING - PROVIDE FIRESTOPPING EVERY 10'-0" VERTICALLY IN WALLS ABOVE 10'-0" EXTERIOR GUARDRAIL, ALL BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN BALUSTERS. ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
  - TERMINATE REFRIG. RECESS AT 73" A-F-F.
  - TYPICAL WINDOW HEAD HEIGHT SHALL BE ON SCHEDULE
  - ARCHED SOFFIT( SEE INTERIOR ELEV. FOR ADDITIONAL INFORMATION.
  - HANDRAIL
  - HALFWALL + 3/4 1/2" A-F-F. W COUNTERTOP PER PLAN (SEE DETAIL SHEET) MECHANICAL CHASE, SEE MECH DWGS. LINE OF SOFFIT ABOVE.
  - LINE OF FOUNDATION BELOW
  - GYPSUM BOARD SOFFIT @ 9'-0" A-F-F.
  - GUARDRAIL WITH BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CANNOT PASS BETWEEN BALUSTERS (SEE DETAIL 20-SHEET).
  - PREFABRICATED FIREPLACE, GAS (NON WOOD BURNING) AS SPECIFIED BY BUILDER.
  - 8'-0" X 5'-0" CONCRETE STOOP U-N-O.
  - LINE OF OVERHEAD GARAGE DOOR IN OPEN POSITION.
  - SLOPE GARAGE FLOOR 2" TO OVERHEAD GARAGE DOOR.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD IN GARAGE AS REQUIRED BY CODE.
  - 4" BRICK VENEER.
  - LINE OF FRAMING BELOW.
  - 4" BRICK WAINSCOT.
  - GYPSUM BOARD SOFFIT @ 8'-0" A-F-F.
  - PROVIDE 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING UNDER ACCESSIBLE ENCLOSED STAIRS.
  - ATTIC ACCESS (22" X 30" U-N-O)
  - WOOD CAP ON STONE WALL
  - SHOWER SEAT
  - EMERGENCY EGRESS WINDOWS SHALL COMPLY WITH GOVERNING FIRE & BUILDING CODES. MAXIMUM SILL HEIGHT, REFER TO FLOOR PLAN NOTES #7
  - HALFWALL +40' 2" A-F-F. W/WOOD TOP PER PLAN
  - GYPSUM BOARD SOFFIT @ 7'-6" A-F-F.
  - 60"x30" TUB/SHOWER COMBO
- NOTE: WINDOW OVER THE TUB MUST BE A MINIMUM OF 60" FROM THE BOTTOM OF THE TUB WITH GLAZING



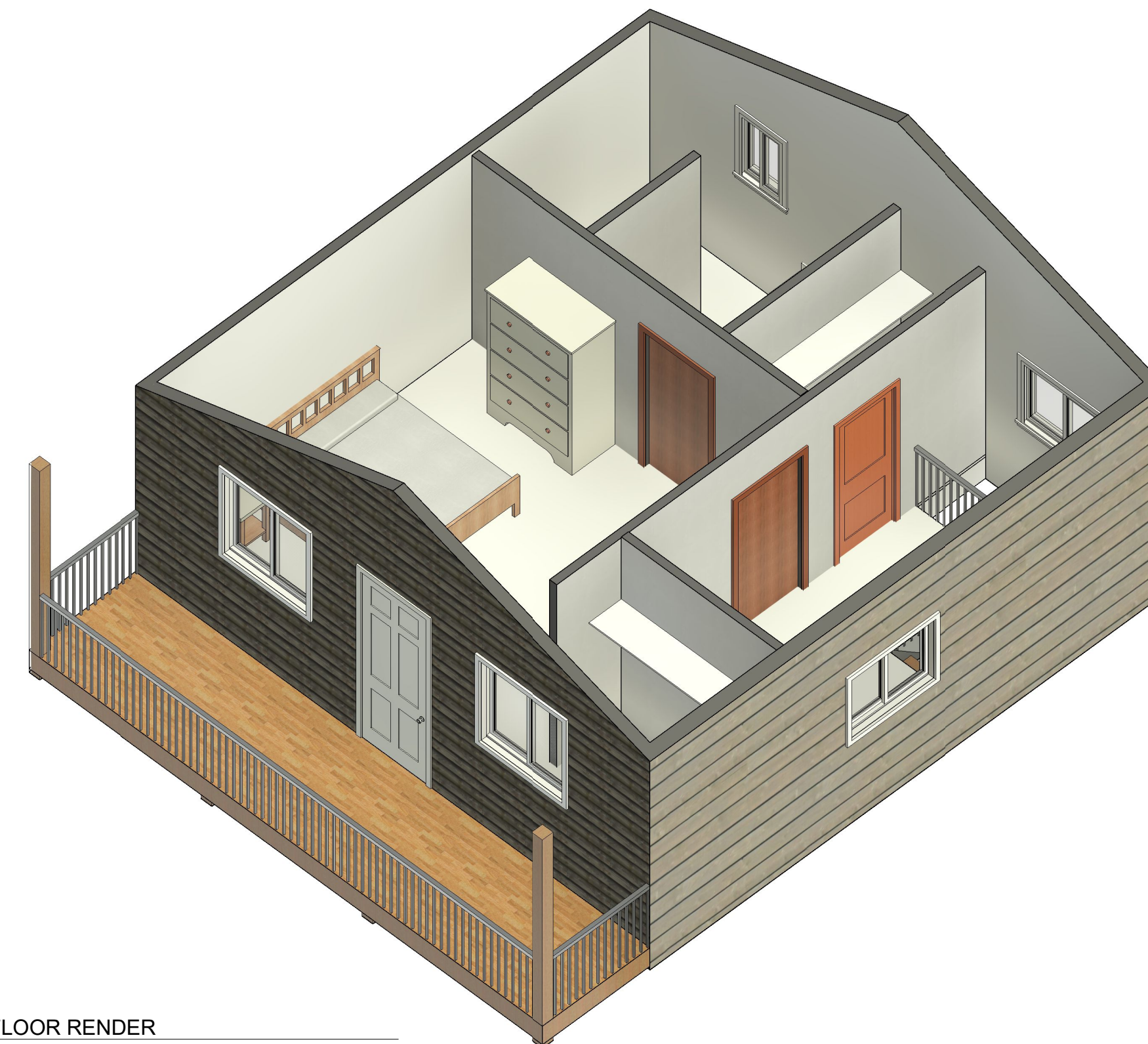
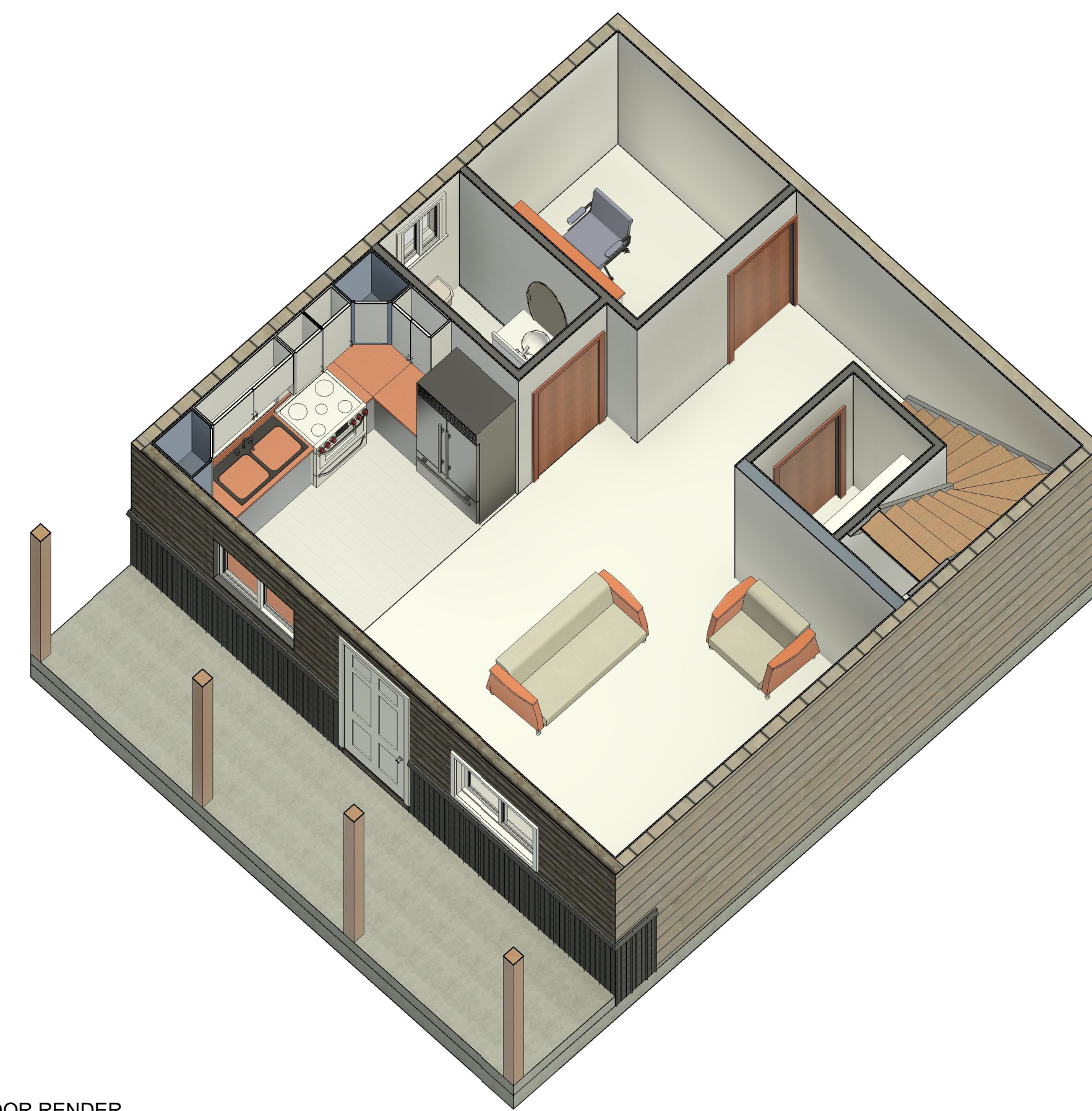
WINDOW SCHEDULE							
TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	SILL HEIGHT	TEMPERED	COMMENTS
A	2	SLIDING	4'-0"	3'-0"	4'-0"	NO	
B	1	FIXED	4'-0"	2'-6"	3'-3 1/2"	NO	
C	2	SLIDING	2'-0"	3'-0"	5'-0"	NO	
D	2	SLIDING	4'-0"	4'-0"	4'-0"	NO	
E	2	SLIDING	4'-0"	3'-0"	3'-0"	NO	

DOOR SCHEDULE							
TYPE MARK	COUNT	OPERATION	WIDTH	HEIGHT	TYPE	COMMENTS	
100	5	SWING	3'-0"	6'-8"			
101	2	SWING	3'-0"	8'-0"			
102	1	SLIDE	2'-8"	6'-8"	POCKET DOOR		

## AREAS

FINISHED AREAS		
MAIN FLOOR	576	SQUARE FEET
UPPER FLOOR	535	SQUARE FEET
<b>TOTAL FINISHED</b>	<b>1,111</b>	<b>SQUARE FEET</b>

UNFINISHED AREAS		
FRONT PORCH	120	SQUARE FEET
COV. DECK	120	SQUARE FEET
<b>TOTAL FINISHED</b>	<b>240</b>	<b>SQUARE FEET</b>



# FLOOR PLANS

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

OFFICE HOUSE PLAN VIEWS FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	6.2.20
Drawn by	EF
Checked by	CRC
Scale	1/4" = 1'-0"
Sheet:	OF:
<b>A1</b>	<b>A3</b>



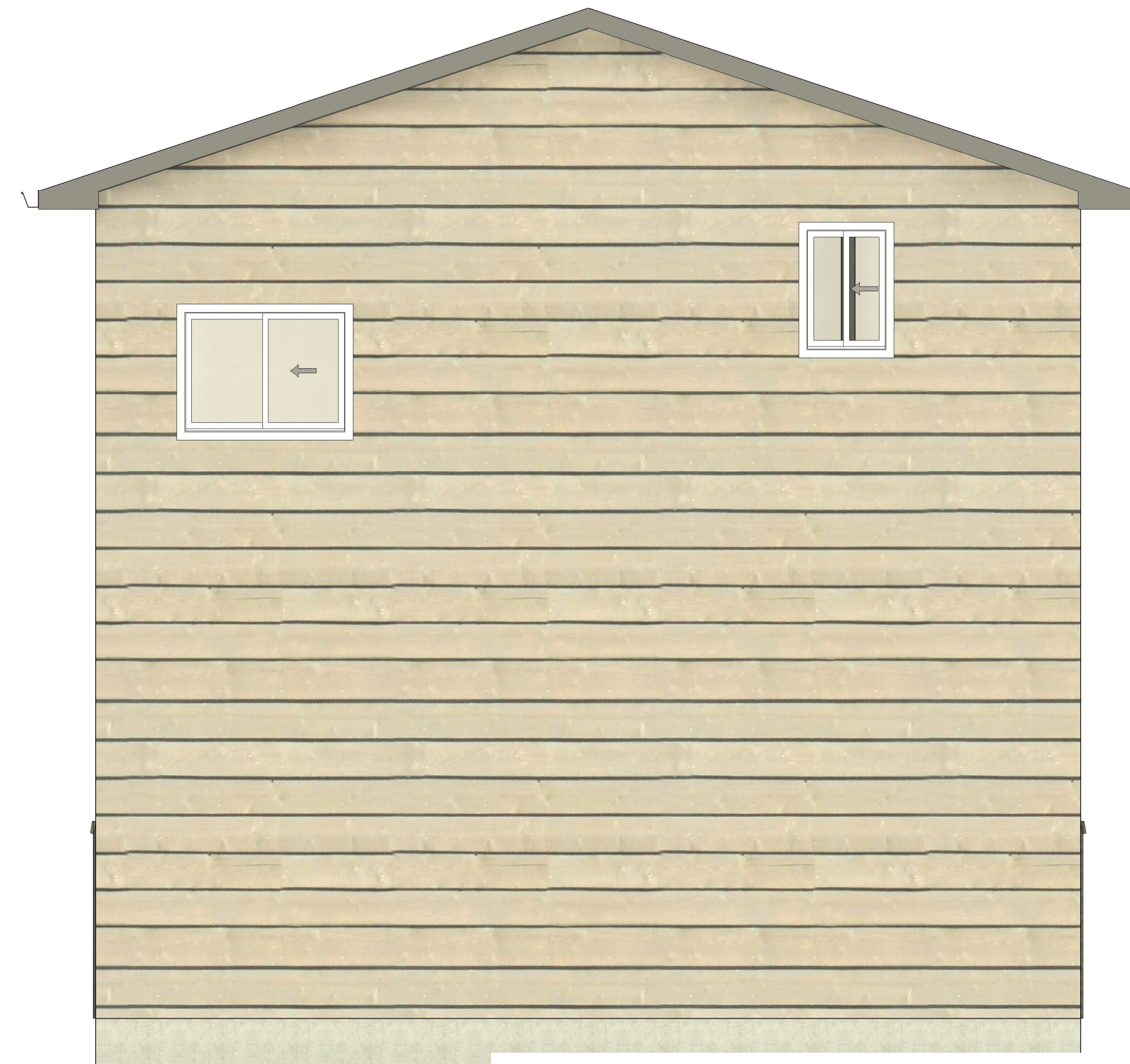
③ FRONT VIEW  
3/8" = 1'-0"



④ LEFT VIEW  
3/8" = 1'-0"



① RIGHT VIEW  
3/8" = 1'-0"



② REAR VIEW  
3/8" = 1'-0"

# HOUSE VIEWS

Revision	Date

**CRC CONSULTING**  
1830 IROQUOIS ROAD, PUEBLO, COLORADO  
PHONE: (719)-924-9733

HOUSE DIRECTINAL VIEWS FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

Date	6.2.20
Drawn by	EF
Checked by	CRC
Scale	3/8" = 1'-0"
Sheet:	OF:
A3	A3

REVISIONS	DATE

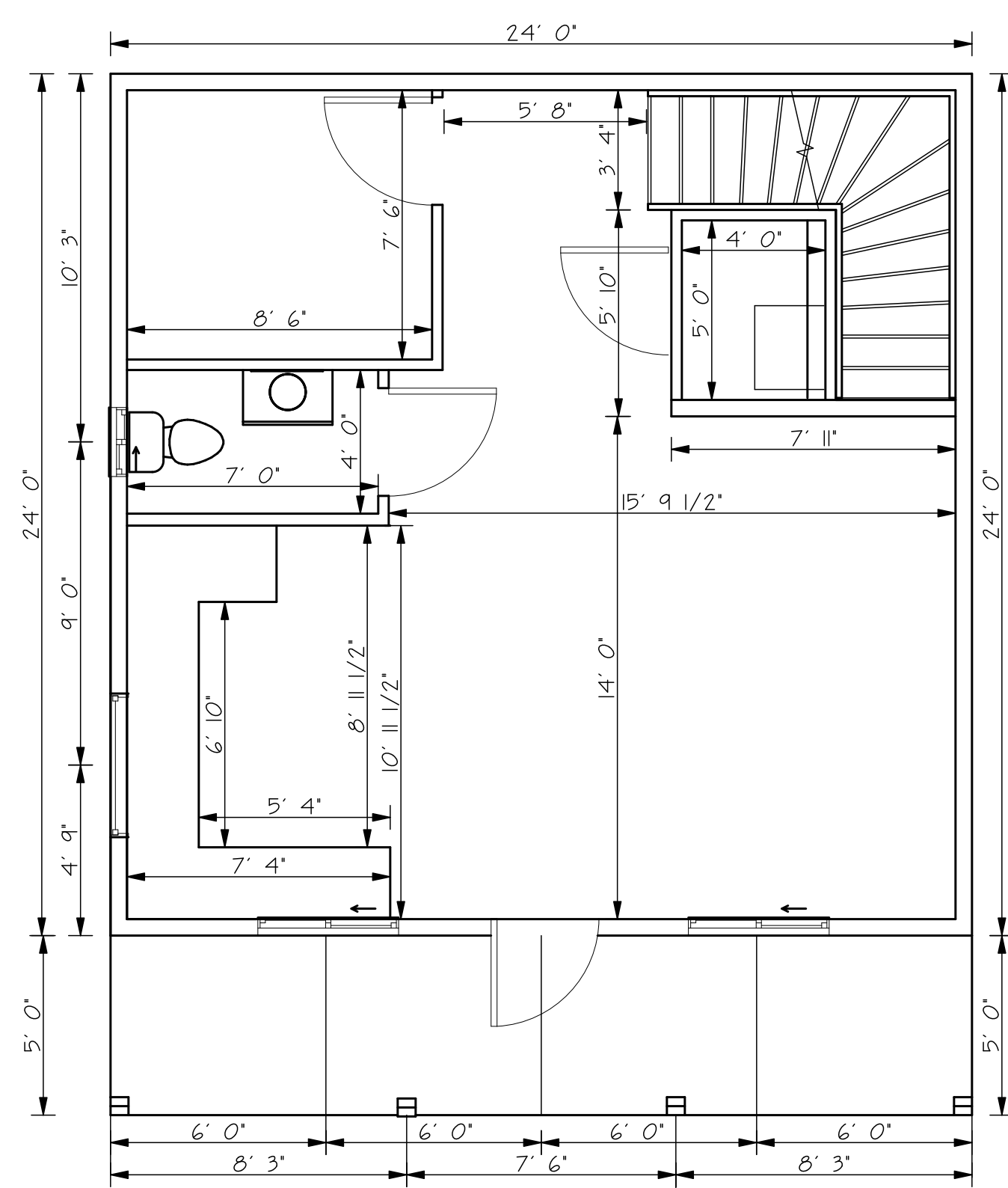
**CRC CONSULTING**  
 1830 IRONWOOD ROAD, FUEBLO, COLORADO  
 PHONE: 719-924-9733

ROOF PLAN & DIMENSIONS FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

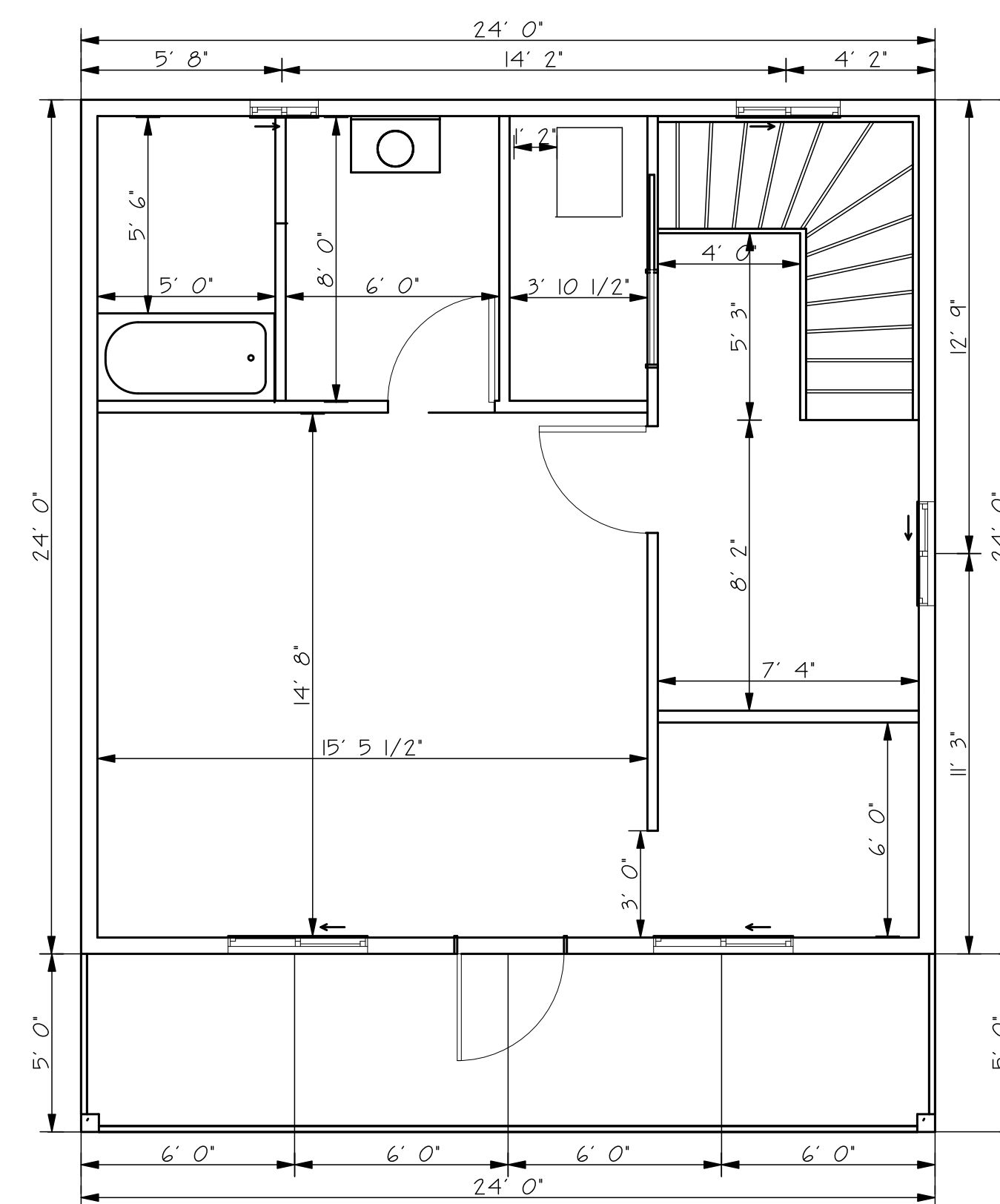
DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 4.25.20	
SCALE: 1" = 1/4"	
SHEET: A2	OF: A3

**NOTE**

ALL 2 X 6 EXTERIOR & 2 X 4 WALLS  
 ARE ROUGH CUT TO 5 1/2" & 3 1/2"



1 MAIN FLOOR  
 1/4" = 1'-0"



1 SECOND FLOOR  
 1/4" = 1'-0"

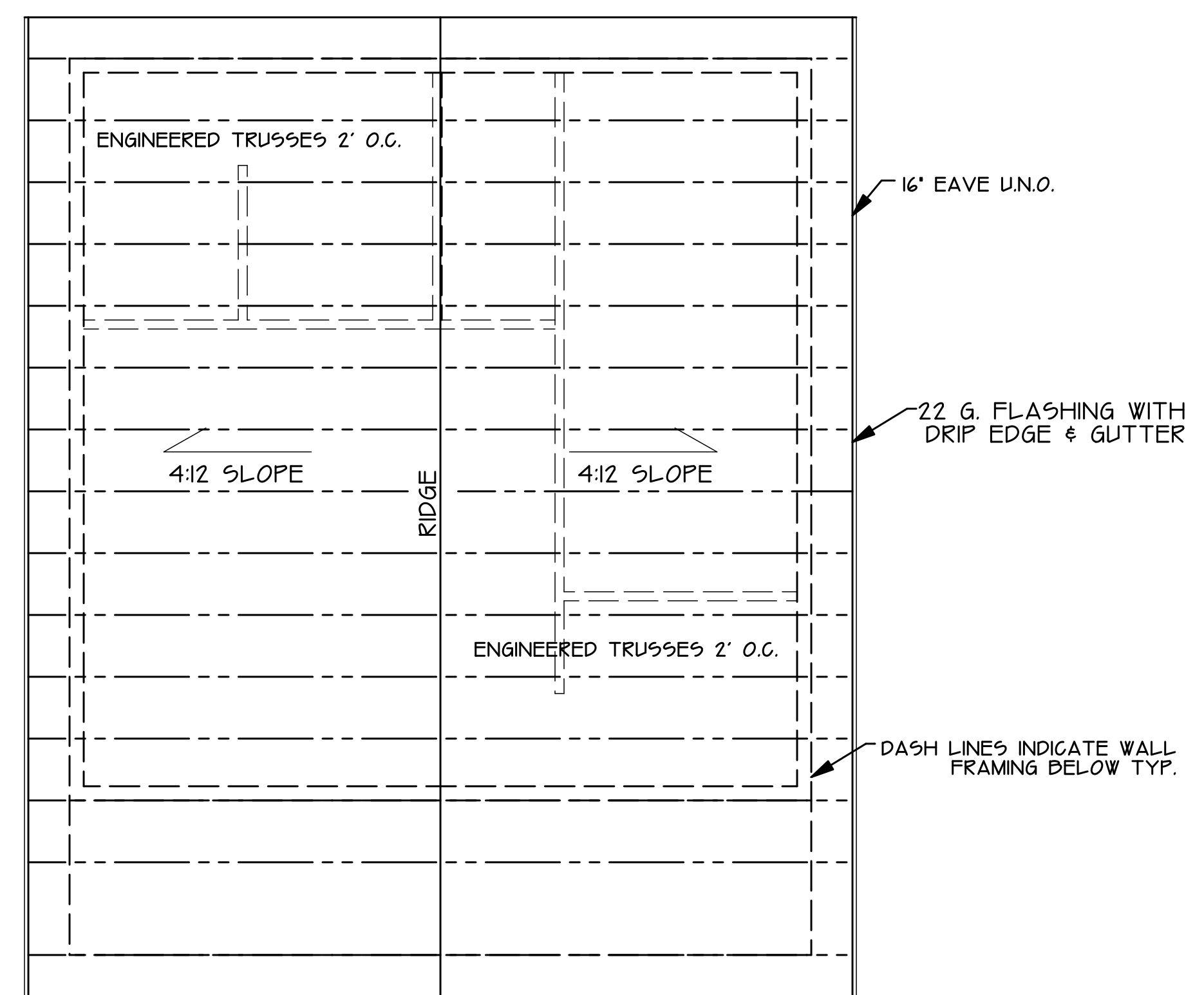
**NOTE**

ALL OVERHANGS  
 WILL BE 16" U.N.O

**ROOF VENTILATION**

721.7 SQ. FT. OF ATTIC SPACE  
 @1 PER EVERY 300 SQ FT.  
 346.97 INCHES OF TOTAL NET  
 FREE AREA (NFA) VENTILATION  
 REQUIRED

MIN 173 SQ IN. OF NET FREE AREA  
 OF EXHAUST OR (2) 12" X 12" TURTLE  
 NECK VENTS  
 MIN 173 SQ IN. OF NET FREE AREA  
 OF INTAKE OR (2) 14" X 16" SOFFIT VENTS  
 FINAL SPEC'S TO BE PROVIDED BY  
 CONTRACTOR

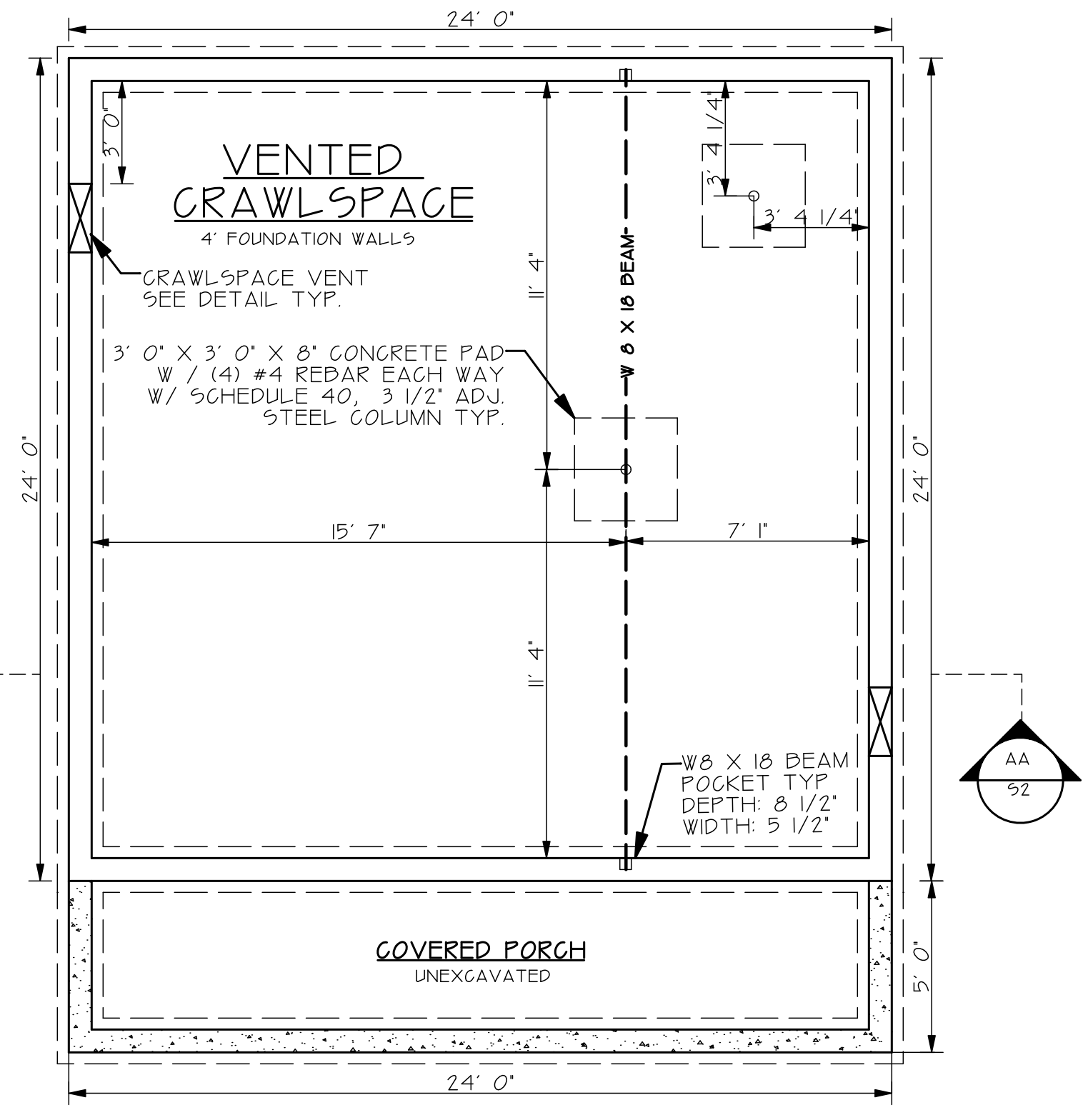


PROVIDE ICE & WATER SHIELD AT  
 PERIMETER 4'-0" MIN TYP. AT ALL  
 ROOF LOCATIONS

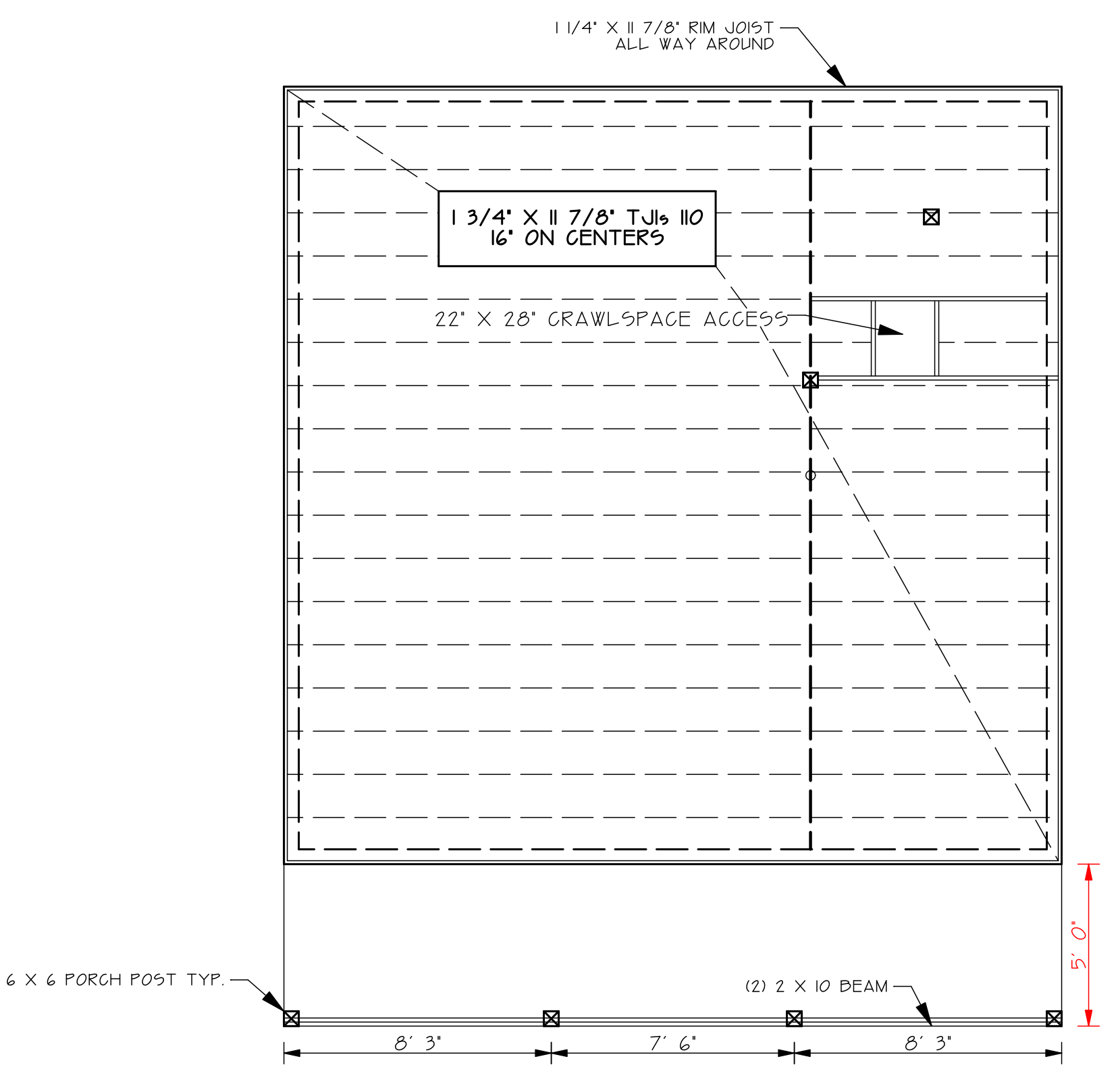
1 ROOF PLAN  
 1/4" = 1'-0"

# ROOF AND DIMENSIONS

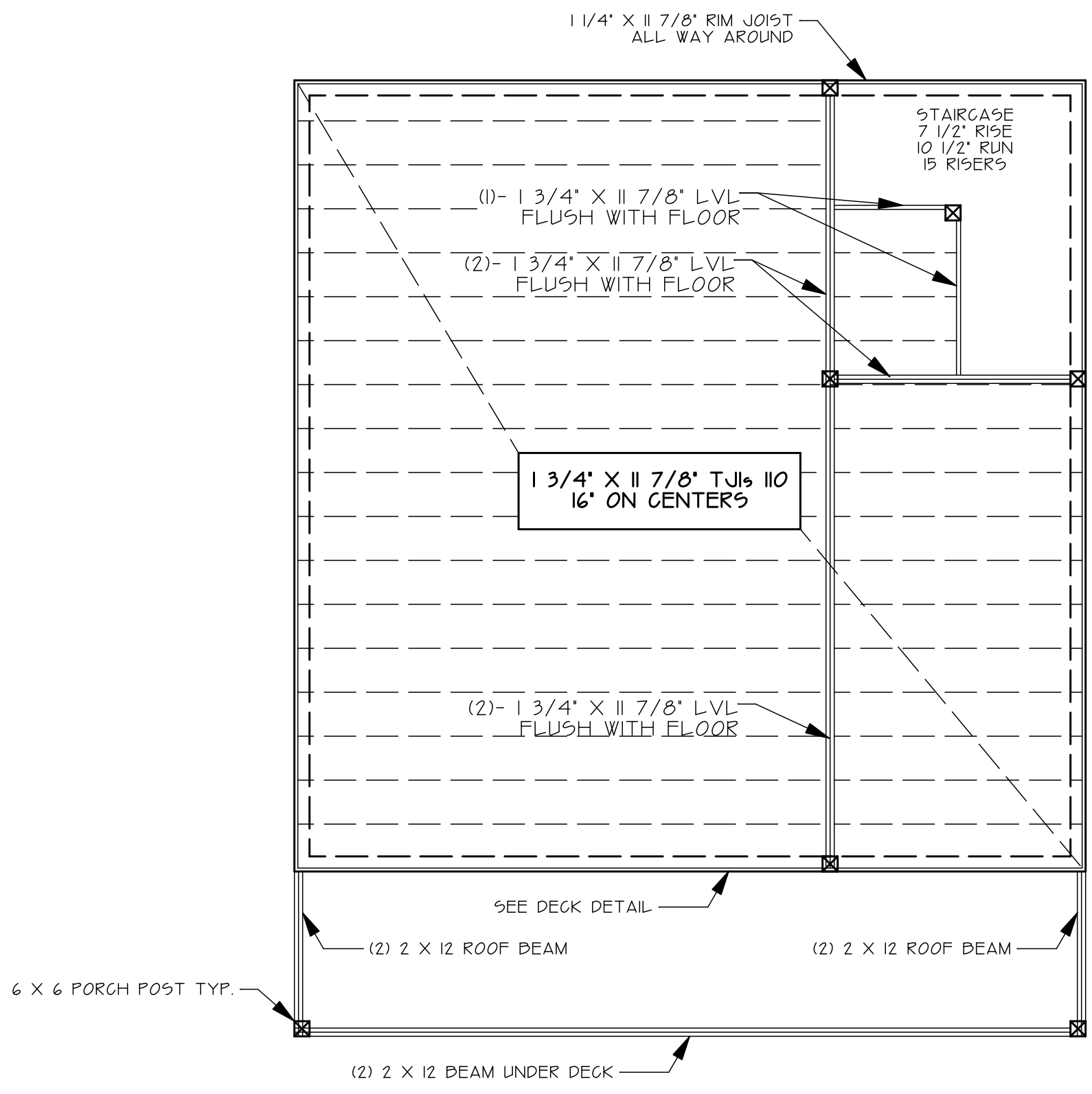




CRAWLSPACE FOUNDATION PLAN  
SCALE: 1/4" = 1' 0"



MAIN FLOOR FRAMING PLAN  
SCALE: 1/4" = 1' 0"



SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1' 0"

KING AND JACK SIZES		
SPAN	NO. JACK STUDS	NO. KING STUDS
UP TO 3' 6"	1	1
3' 6" TO 5' 0"	1	2
5' 0" TO 5' 6"	2	2
5' 6" TO 8' 0"	2	2
8' 0" TO 10' 6"	2	3
SPANS OVER 10' SEE PLANS		

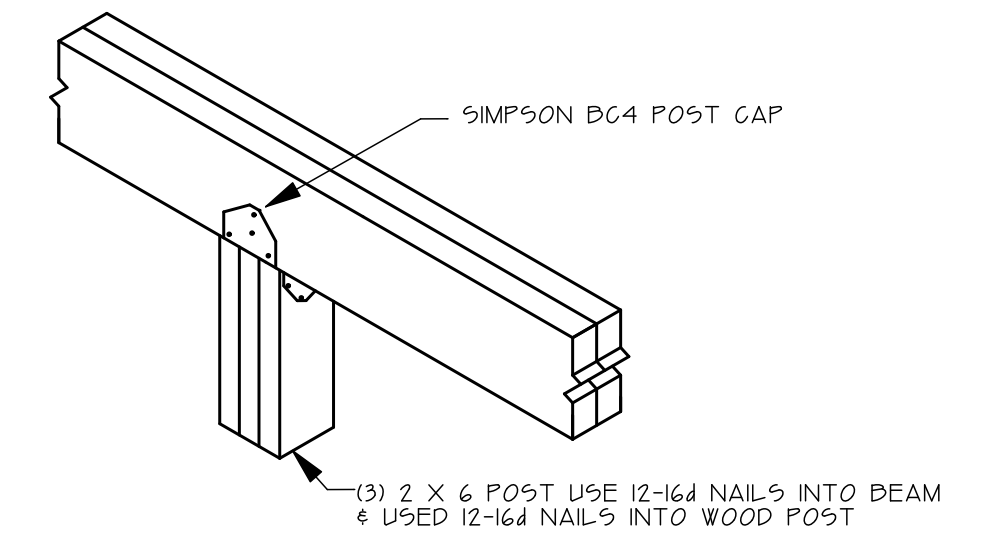
HEADER SCHEDULE	
SPAN	HEADER
TO 4'0"	2-2 X 8s
4'0" TO 6'0"	2-2 X 8s
6'0" TO 8'0"	2- 2 X 10s
8'0" TO 10'0"	2- 2 X 10s
10'0" TO 12'0"	2- 1 3/4" X 9 1/2" LVLs
SPANS OVER 10' SEE PLANS	

FOUNDATION WALLS	
- 4" WALLS	
- 3" WALLS	
ALL FDN. WALLS 8" UNO.	

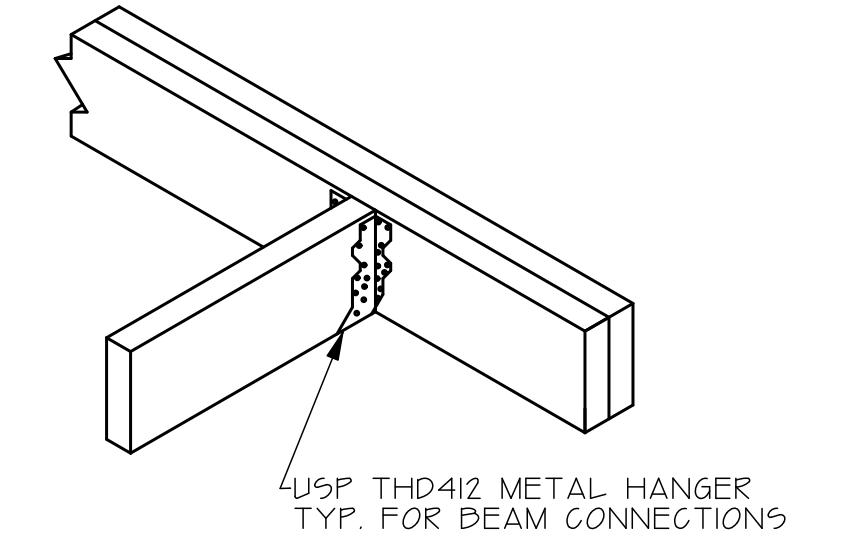
POST LOCATION	
EXTERIOR WALL	(4) 2 X 6 POST
INTERIOR WALL	(5) 2 X 4 POST

NOTE:  
ALL 2 X 6 EXTERIOR & 2 X 4 INTERIOR WALL STUDS WILL HAVE A SPACING OF 16" O.C.

NOTE:  
HEADERS WILL BE ADJACENT TO THE HOLES THEY COVER. NO HEADERS AT THE TOP OF THE WALL.



BEAM TO POST CONNECTION



BEAM TO BEAM CONNECTION  
SCALE: N.T.S.

SHEAR DRAGING:  
A. EXTERIOR WALL SHEATHING SHALL BE 7/16 APA RATED OSB SHEATHING ATTACHED WITH 8d NAILS AT 4' O.C. AT ALL PANEL EDGE AND 12" O.C. AT ALL INTERMEDIATE SUPPORT, UNLESS NOTED OTHERWISE. DO NOT SPLICE OSB AT CORNERS OF OPENINGS IN WALLS. ALL PANEL EDGES MUST BE BLOCKED AT EXTERIOR WALLS.  
B. ROOF SHEATHING SHALL BE 15/32" OSB, NAIL AT 6' O.C. AT PANEL EDGES AND 12" AT PANEL FIELD.  
C. FLOOR SHEATHING SHALL BE 3/4" APA 48X24 EXPOSURE 1 RATED TONGUE AND GROOVE PLYWOOD OR OSB EQUIVALENT, GLUE AND NAIL WITH 8d NAILS AT 6' O.C. AT PERIMETER AND 12" O.C. AT INTERMEDIATE FRAMING.

# STRUCTURAL PLAN

REVISIONS	DATE

**CRC CONSULTING**  
1830 IRONWOOD ROAD, PUEBLO, COLORADO  
PHONE: 719-924-9733

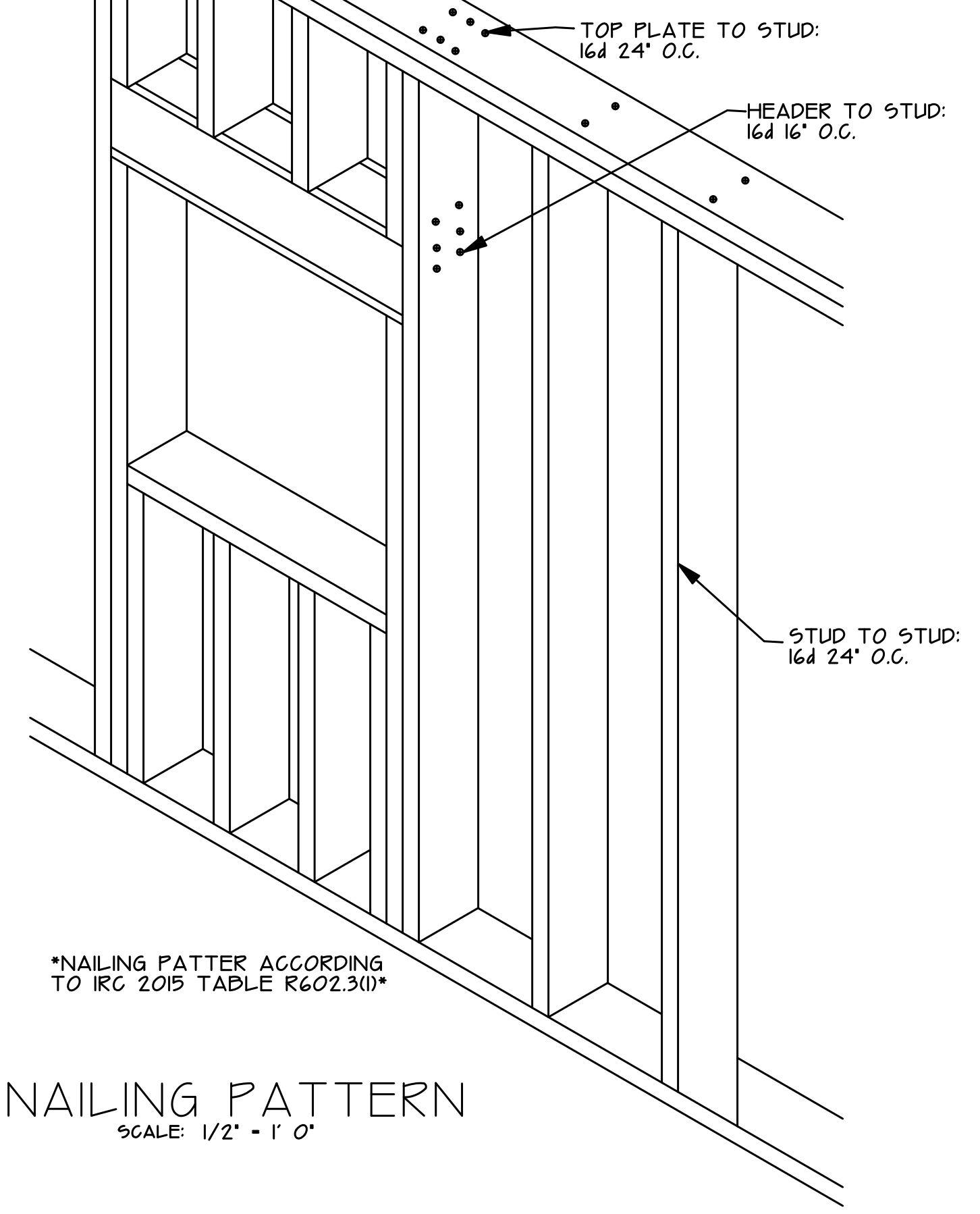
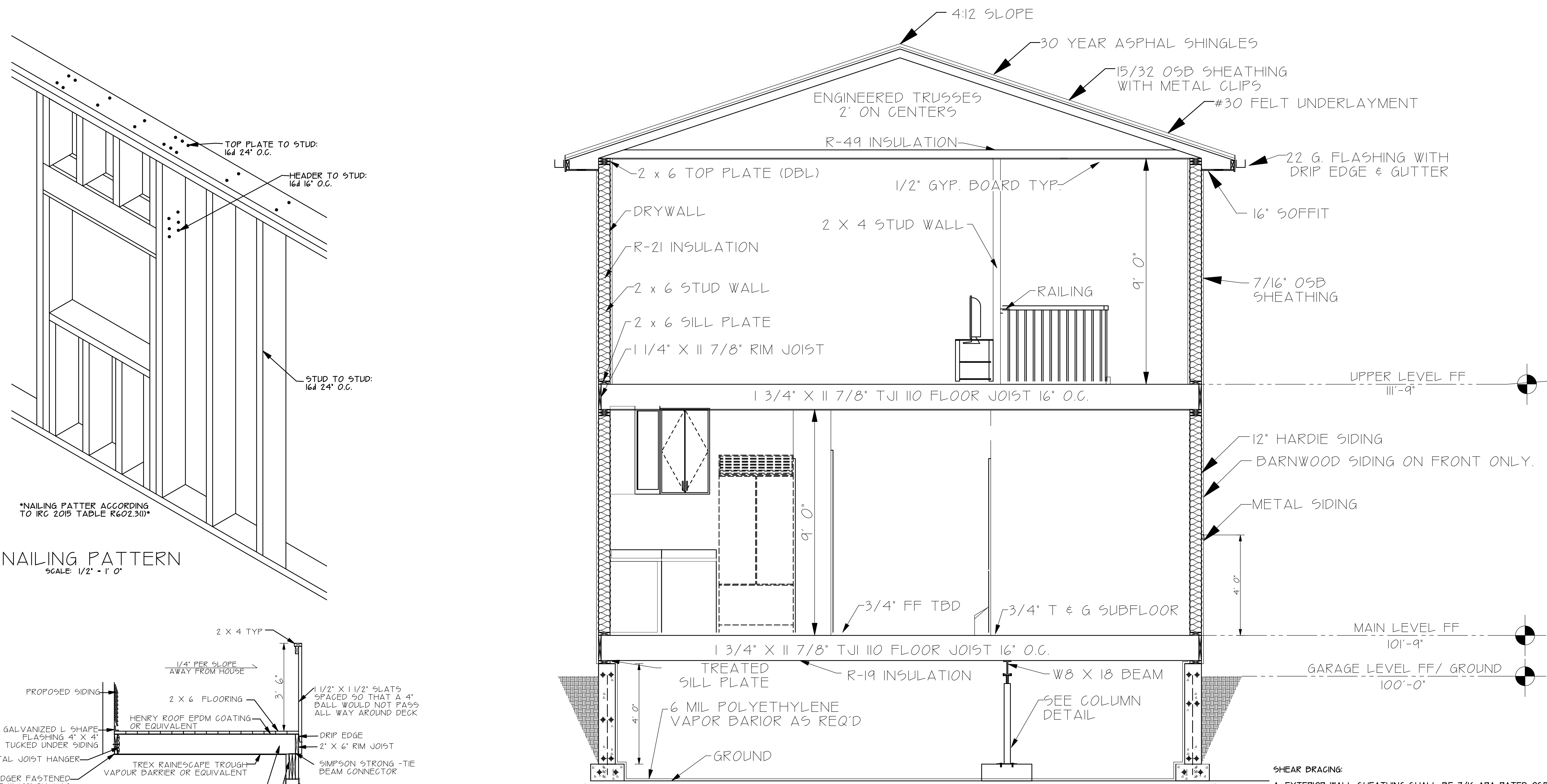
FOUNDATION & FRAMING PLAN FOR  
5 SAGEMORE TRAIL  
BLACKHAWK, COLORADO

DRAWN BY: EF
CHECKED BY: CRC
DATE DRAWN: 4.25.20
SCALE: 1" = 1/4"
SHEET: 51 OF: 53

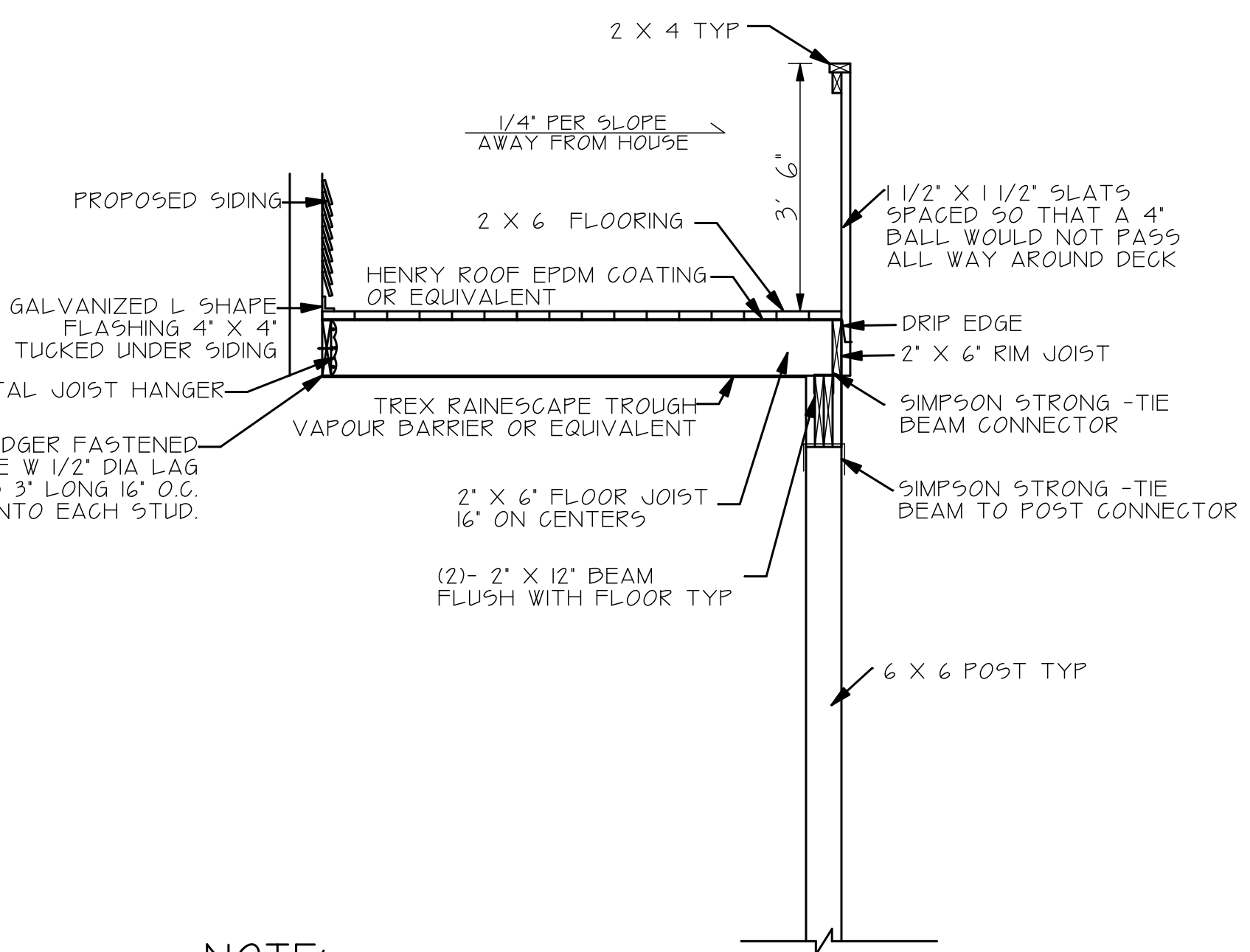
REVISIONS	DATE

**CRC CONSULTING**  
 1830 IRONWOOD ROAD, FUEBLO, COLORADO  
 PHONE: 719-924-9733

SECTION PLAN FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO



NAILING PATTERN  
 SCALE: 1/2" = 1' 0"



DECK DETAIL  
 SCALE: 1/2" = 1' 0"

NOTE:  
 ALL 2 X 6 EXTERIOR & 2 X 4 INTERIOR WALL STUDS WILL HAVE A SPACING OF 16" O.C.

NOTE:  
 HEADERS WILL BE ADJACENT TO THE HOLES THEY COVER. NO HEADERS AT THE TOP OF THE WALL.

**GENERAL NOTES & SPECIFICATIONS:**

- THIS FOUNDATION PLAN IS DESIGNED FOR A SINGLE FAMILY HOME AT 5 SAGEMORE TRAIL, BLACKHAWK, COLORADO. (PARCEL NO. 17118300025)
- DESIGN LOADS: A. ROOF LIVE LOAD - 75 PSF, 10 PSF DEAD LOAD; B. FLOOR LIVE LOAD - 40 PSF 10 PSF DEAD LOAD; C. 180 MPH (3 SECOND GUSTS EXPOSURE) WIND LOAD. THE FOUNDATION SHOULD BE BASED ON SPREAD FOOTINGS WITH 2,000 LBS PSF, ACCORDING TO SUB-SURFACE EXPLORATION BY AMERICAN GEOSERVICES PROJECT #0237-D20 DATED MAY 29, 2020.
- CONCRETE: SHALL DEVELOP 3500 PSI STRENGTH IN 28 DAYS.
- REINFORCING STEEL SHALL BE GRADE 60, REDAR, SPLICED WITH 18" OVERLAPS TO BE CONTINUOUS AROUND CORNERS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS SHOWN ON THIS PLAN PRIOR TO CONCRETE PLACEMENT AND REPORT ANY DISCREPANCY TO THE ENGINEER OR BE RESPONSIBLE FOR SAME.
- FOUNDATION CONTRACTOR SHALL CHECK AND REVIEW UPPER ARCHITECTURAL FLOOR PLAN FOR DOOR, DUCT, STAIR, AND MISCELLANEOUS BLOCKOUTS AND BE RESPONSIBLE FOR SAME.
- #2 HEM-FIR OR BETTER WILL BE USED IN CONSTRUCTION OF HOUSE
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE ADOPTED BY GILPIN COUNTY, COLORADO.

SECTION AA  
 SCALE: 1/2" = 1' 0"

**IECC TABLE R402.1.2**

IECC COMPLIANCE IS VIA METHOD 1, PERSCRIPTIVE

BENNETT, COLORADO I CLIMATE 5B	
PENETRATION U-FACTOR	0.30
CEILING R-VALUE	R49
WOOD FRAME WALL R-VALUE	R20
MASS ALL R-VALUE	R13/R17
FLOOR R-VALUE	R19
BASEMENT R-VALUE	R15 CONTINUOUS INT/EXT OR R19 INTERIOR CAVITY
CRAWLSPACE WALL R-VALUE	R15 CONTINUOUS INT/EXT OR R19 INTERIOR CAVITY

AIR BARRIER AND INSULATION TO BE INSTALLED PER TABLE R402.4.11  
 ALL DUCTWORK IS INTERIOR TO THE BUILDING  
 PROVIDE DUCT SEALING PER IRC

THERE REQUIREMENTS ASSURE COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE AND THE INTERNATIONAL ENERGY CONSERVATION CODE.

**SHEAR BRACING:**

A. EXTERIOR WALL SHEATHING SHALL BE 7/16" APA RATED OSB SHEATHING ATTACHED WITH 8d NAILS AT 4' O.C. AT ALL PANEL EDGE AND 12" O.C. AT ALL INTERMEDIATE SUPPORT, UNLESS NOTED OTHERWISE. DO NOT SPLICE OSB AT CORNERS OF OPENINGS IN WALLS. ALL PANEL EDGES MUST BE BLOCKED AT EXTERIOR WALLS.

D. ROOF SHEATHING SHALL BE 15/32" OSB, NAIL AT 6" O.C. AT PANEL EDGES AND 12" AT PANEL FIELD.

C. FLOOR SHEATHING SHALL BE 3/4" APA 48X24 EXPOSURE 1 RATED TONGUE AND GROOVE PLYWOOD OR OSB EQUIVALENT, GLUE AND NAIL WITH 8d NAILS AT 6" O.C. AT PERIMETER AND 12" O.C. AT INTERMEDIATE FRAMING.

CONNECTION OF MULTIPLE LVL'S:

THE MULTIPLE LVL'S FASTENED TOGETHER WILL REQUIRE 12d NAILS PLACED AT 12" APART ALONG THE BEAM. 2 LVL'S WILL REQUIRE 2 ROWS OF NAILS SPACED 2' FROM TOP AND BOTTOM. 3 LVL'S WILL REQUIRE 3 ROWS OF NAILS SPACED 2' FROM TOP AND BOTTOM AND ONE ROW DOWN THE CENTER.

**SECTION**

DRAWN BY: EF
CHECKED BY: CRC
DATE DRAWN: 4.25.20
SCALE: 1" = 1/4"
SHEET: 52 OF: 53

REVISIONS	DATE

KING AND JACK SIZES		
SPAN	NO. JACK STUDS	NO. KING STUDS
UP TO 3' 6"	1	1
3' 6" TO 5' 0"	1	2
5' 0" TO 5' 6"	2	2
5' 6" TO 8' 0"	2	2
8' 0" TO 10' 6"	2	3
SPANS OVER 10' SEE PLANS		

HEADER SCHEDULE	
SPAN	HEADER
TO 4'0"	2-2 X 8s
4'0" TO 6'0"	2-2 X 8s
6'0" TO 8'0"	2- 2 X 10s
8'0" TO 10'0"	2- 2 X 10s
10'0" TO 12'0"	2- 1 3/4" X 9 1/2" LVLs
SPANS OVER 10' SEE PLANS	

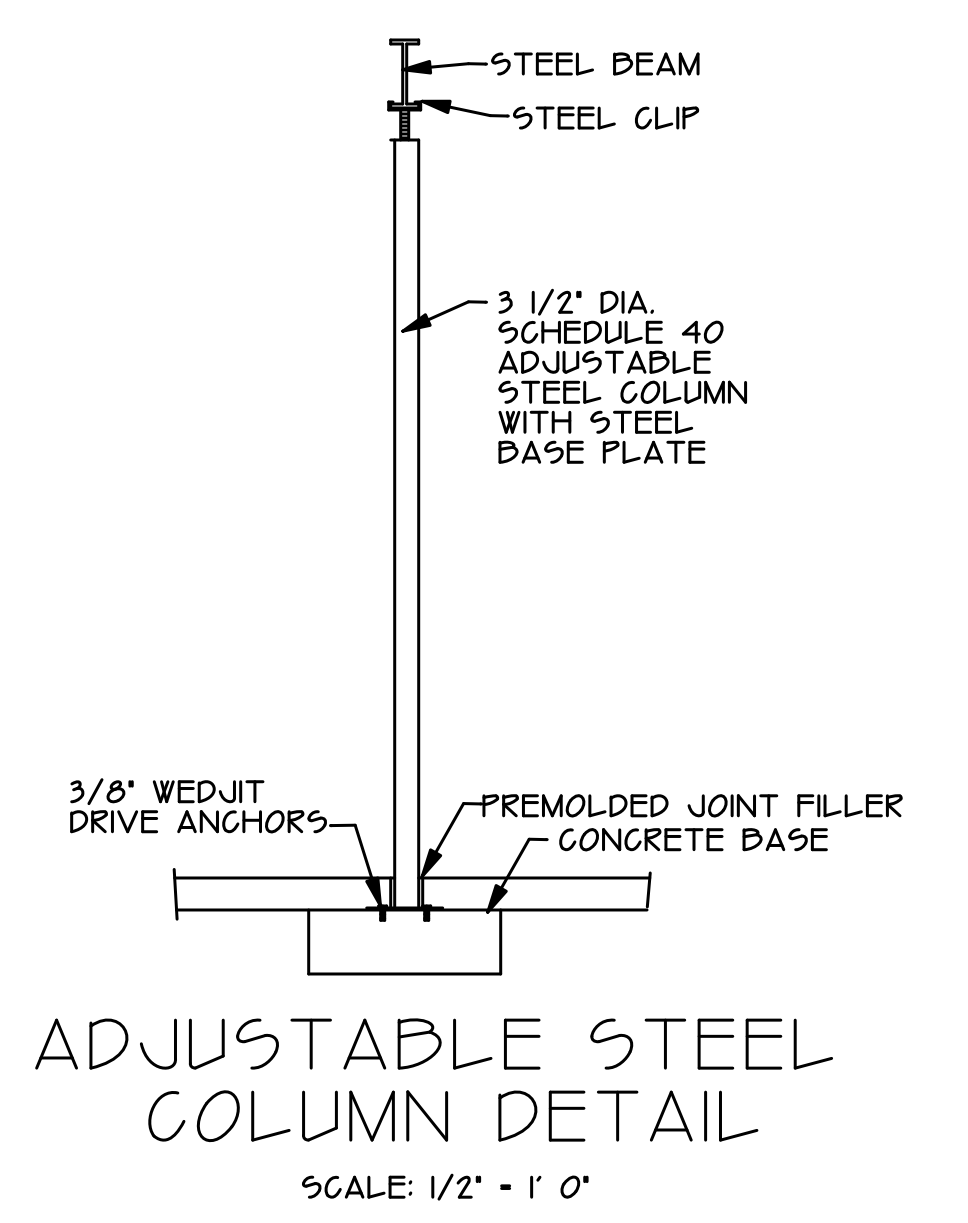
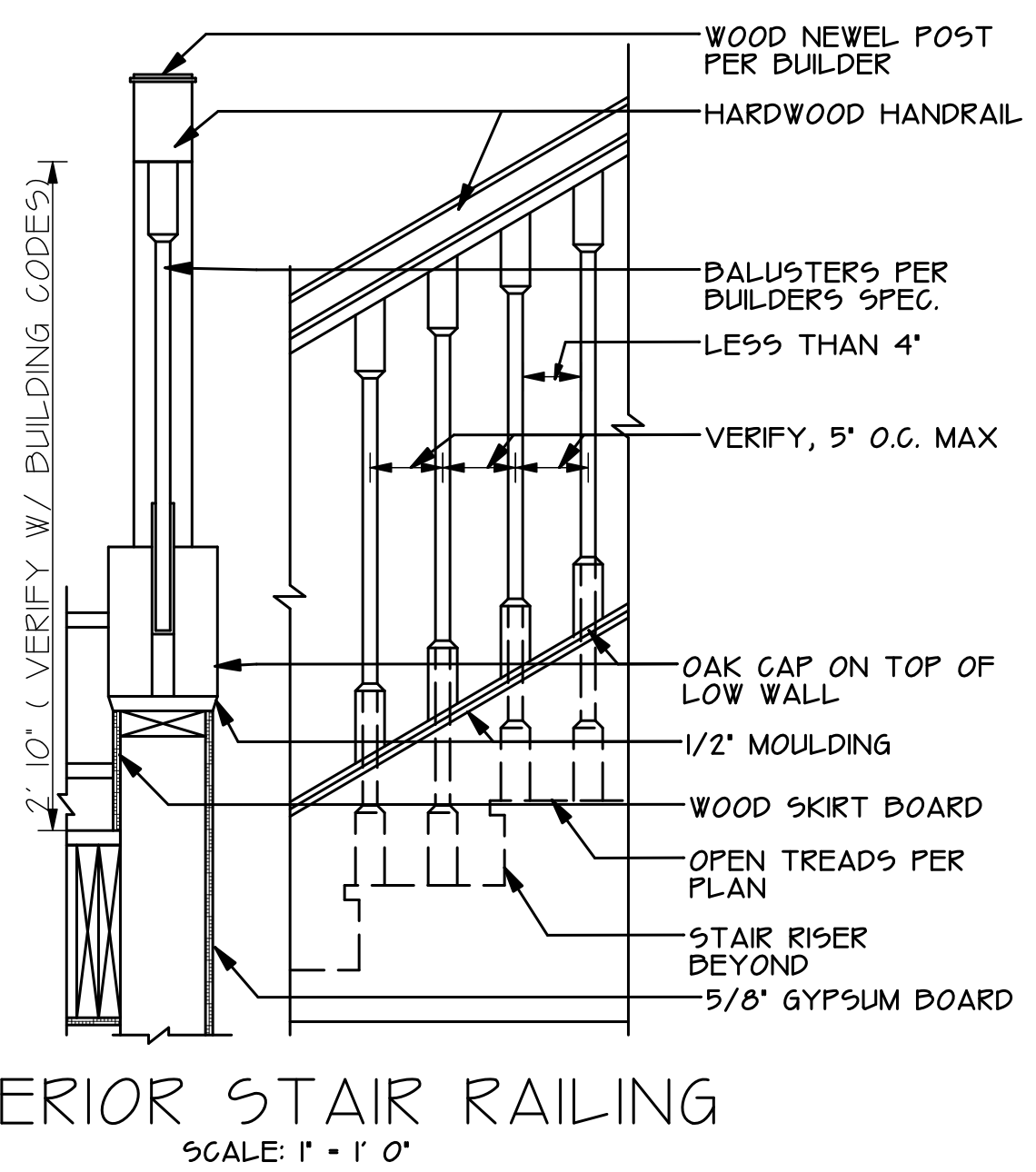
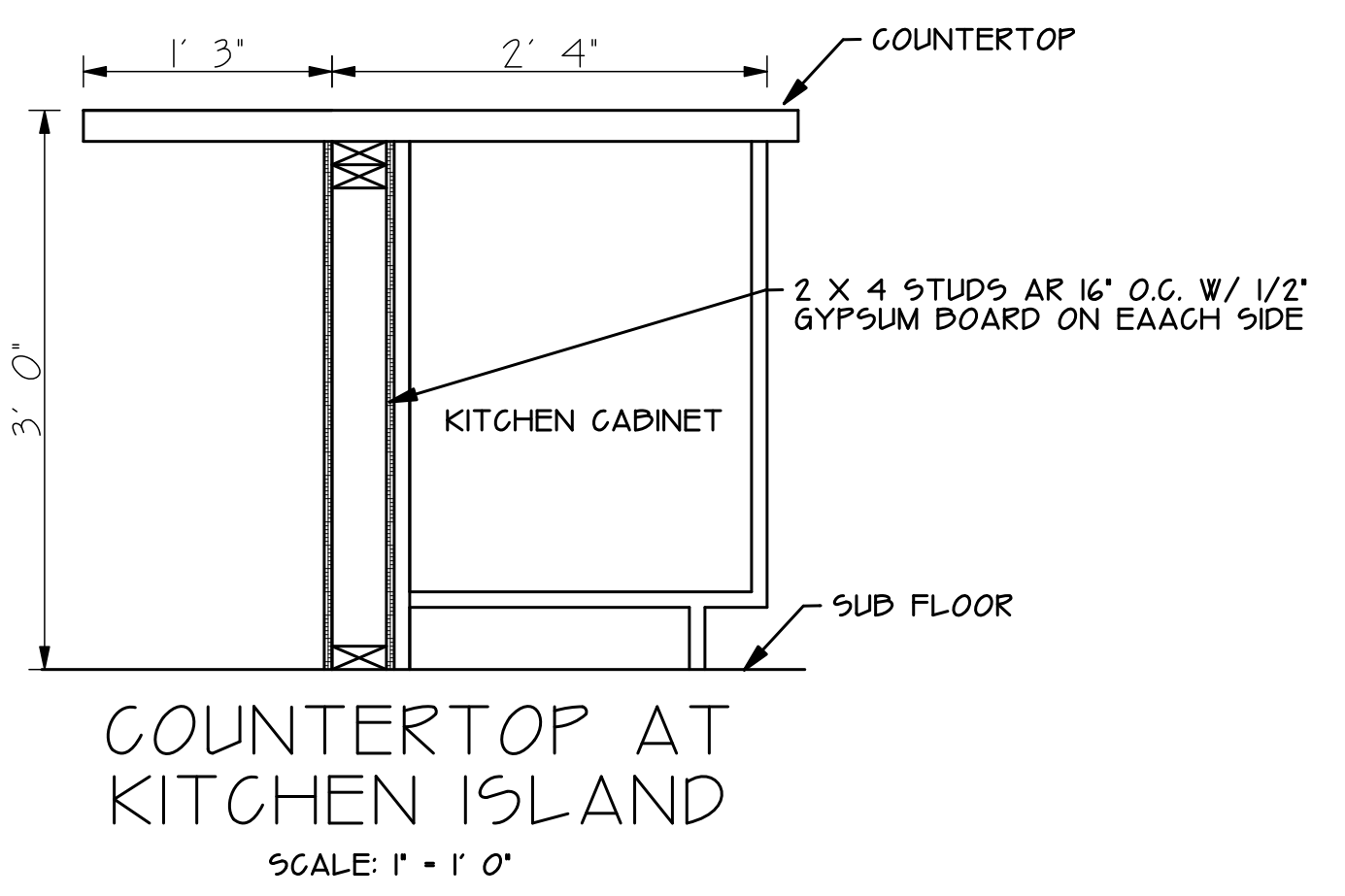
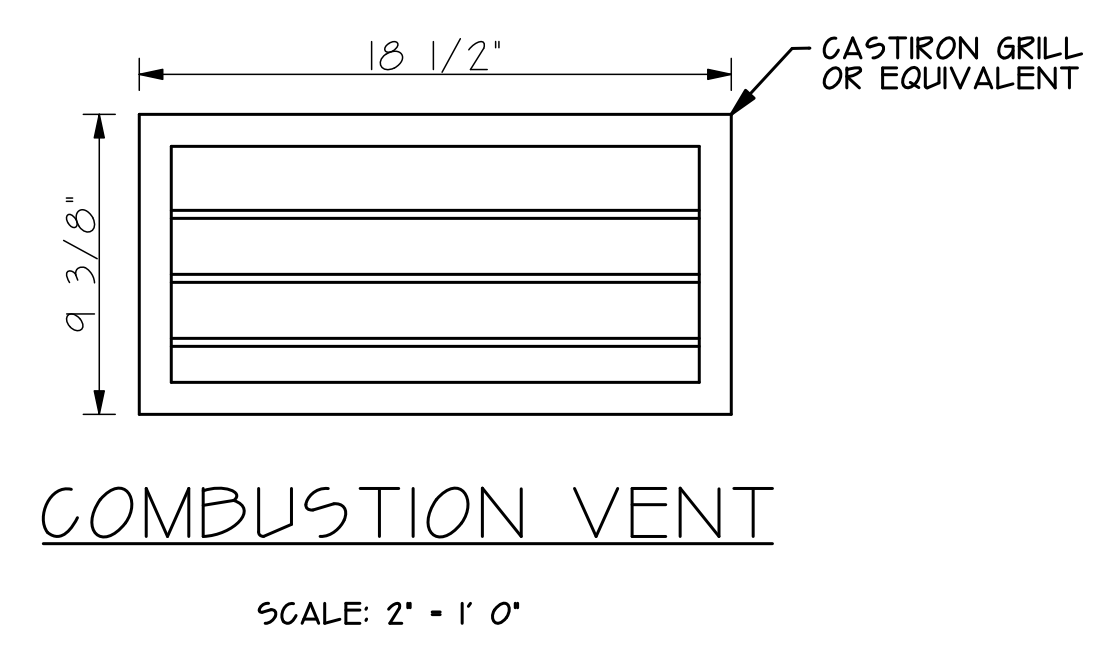
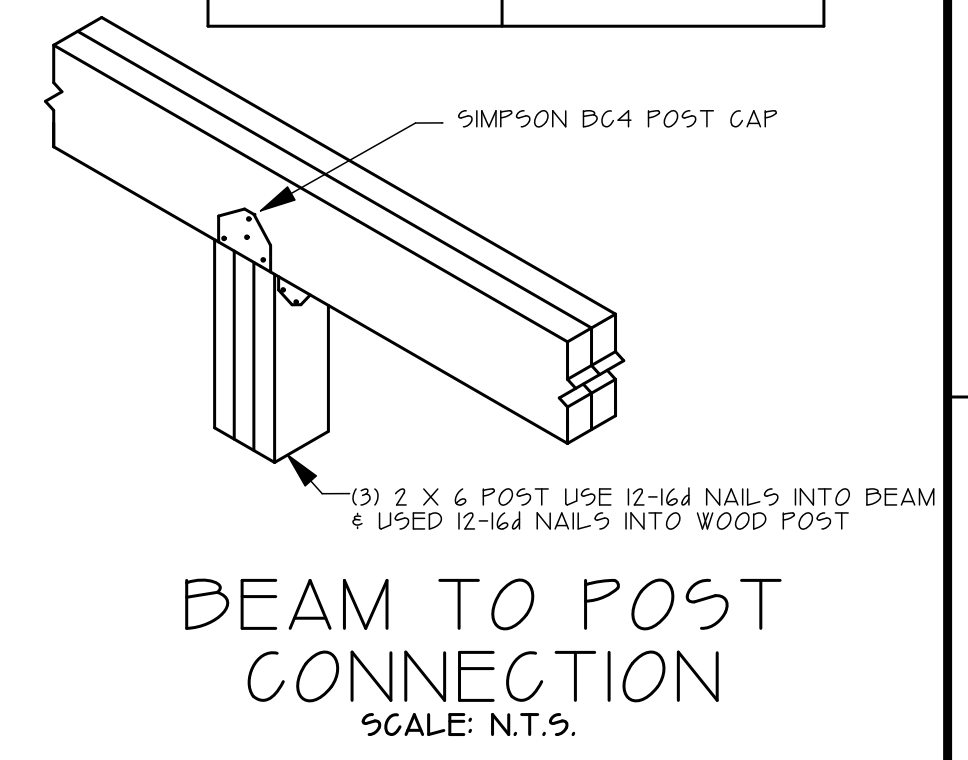
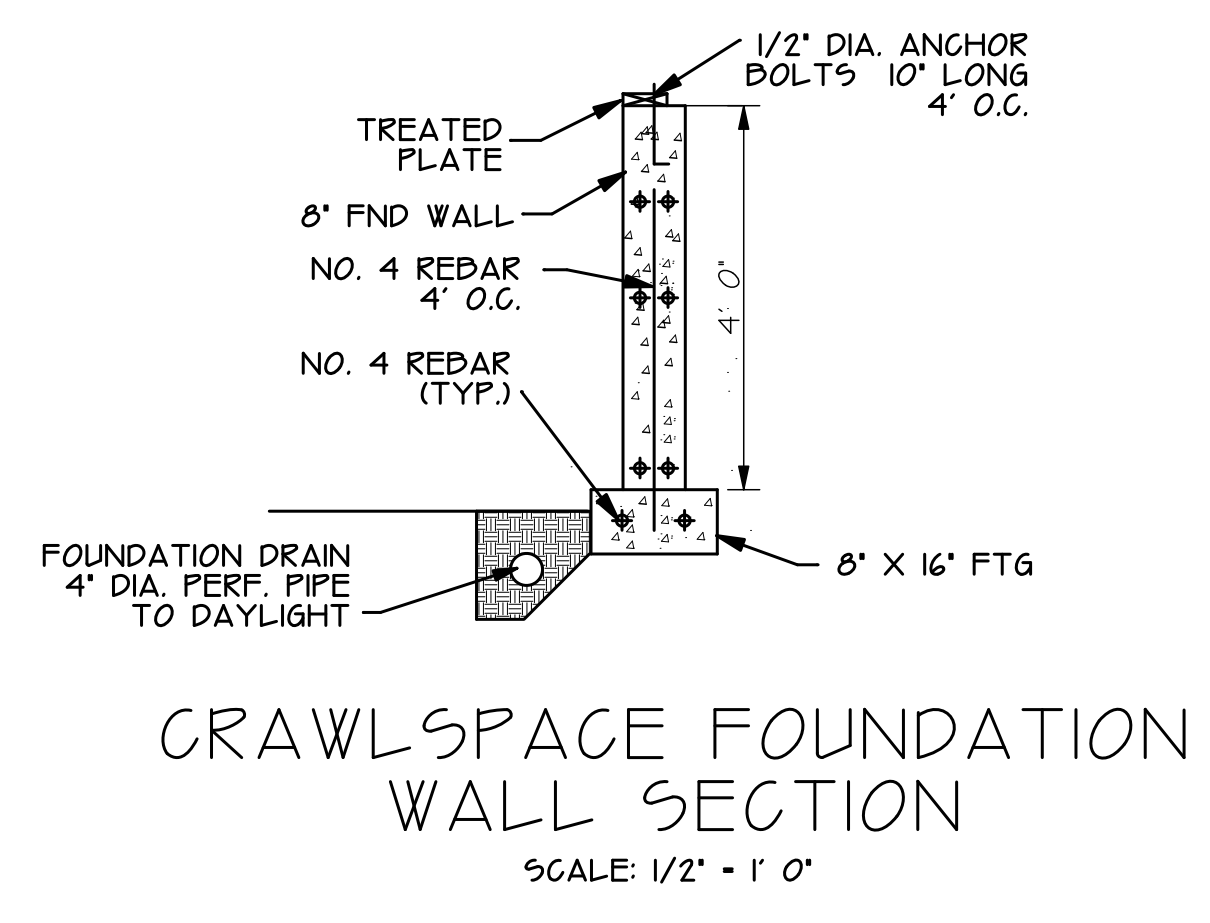
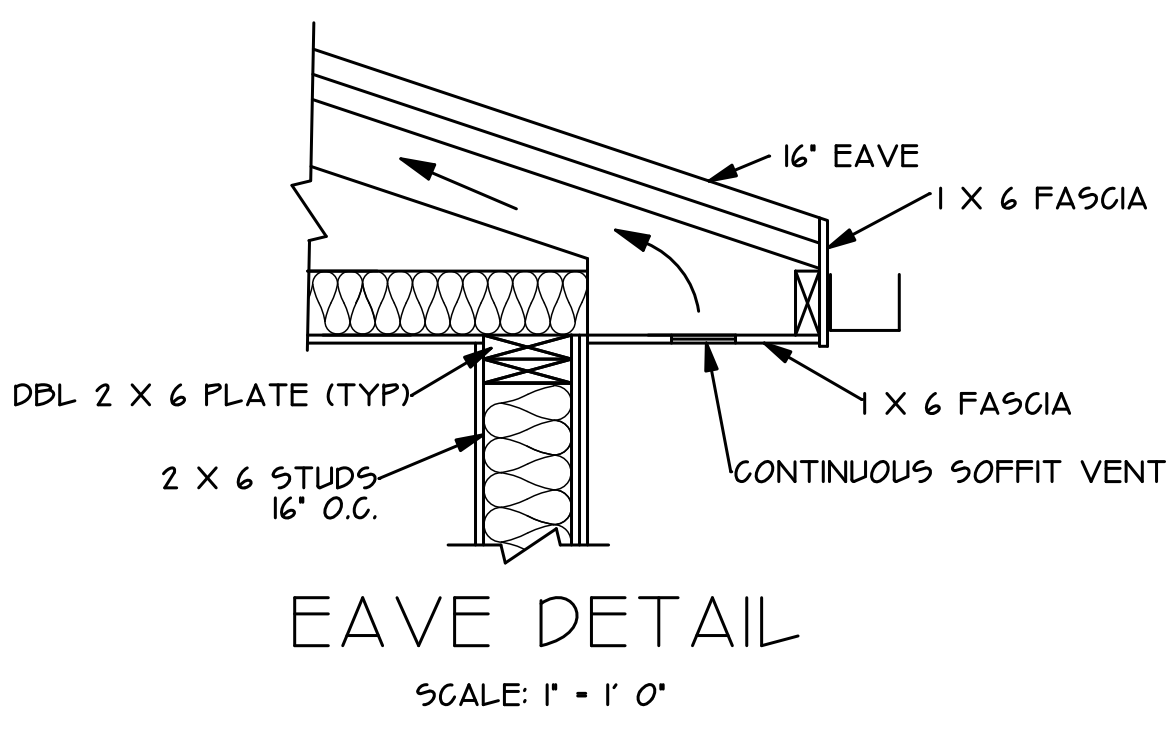
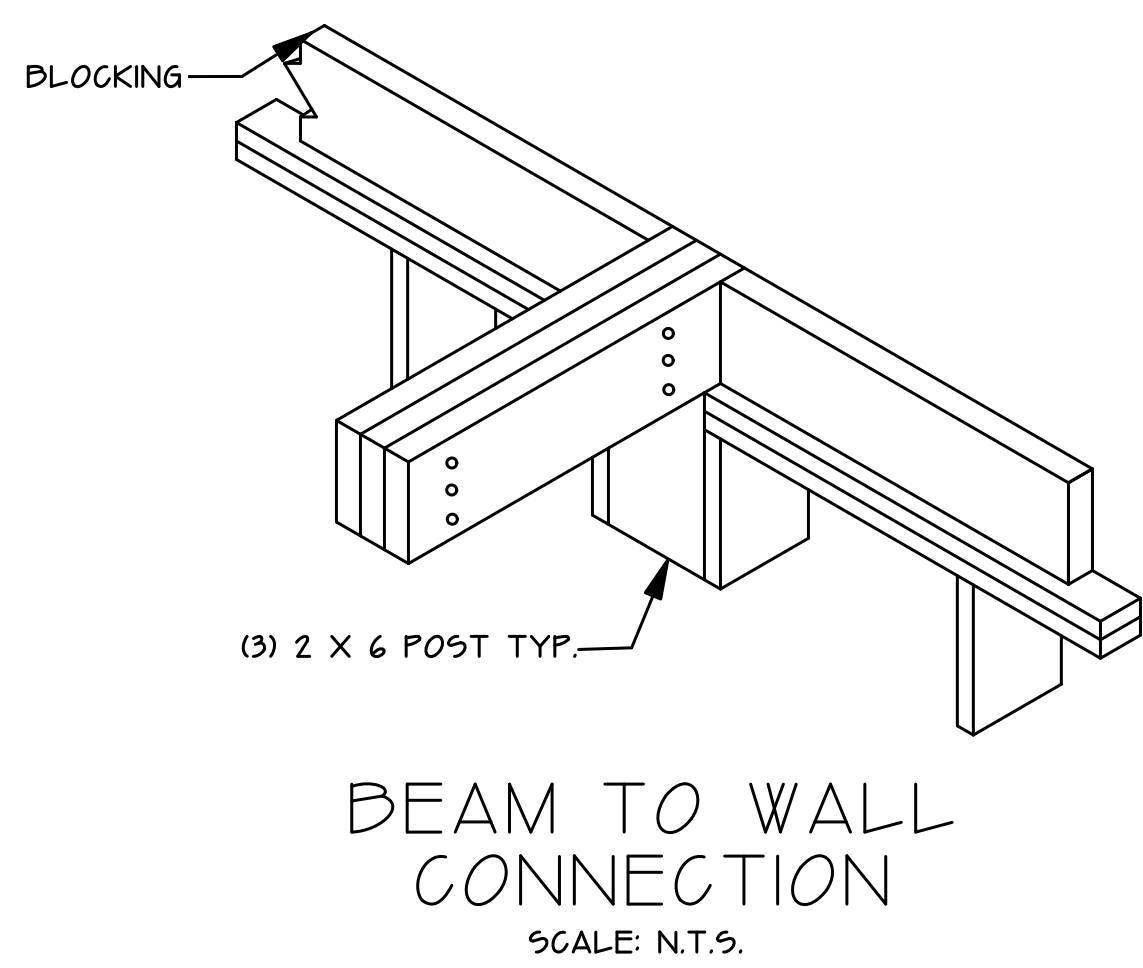
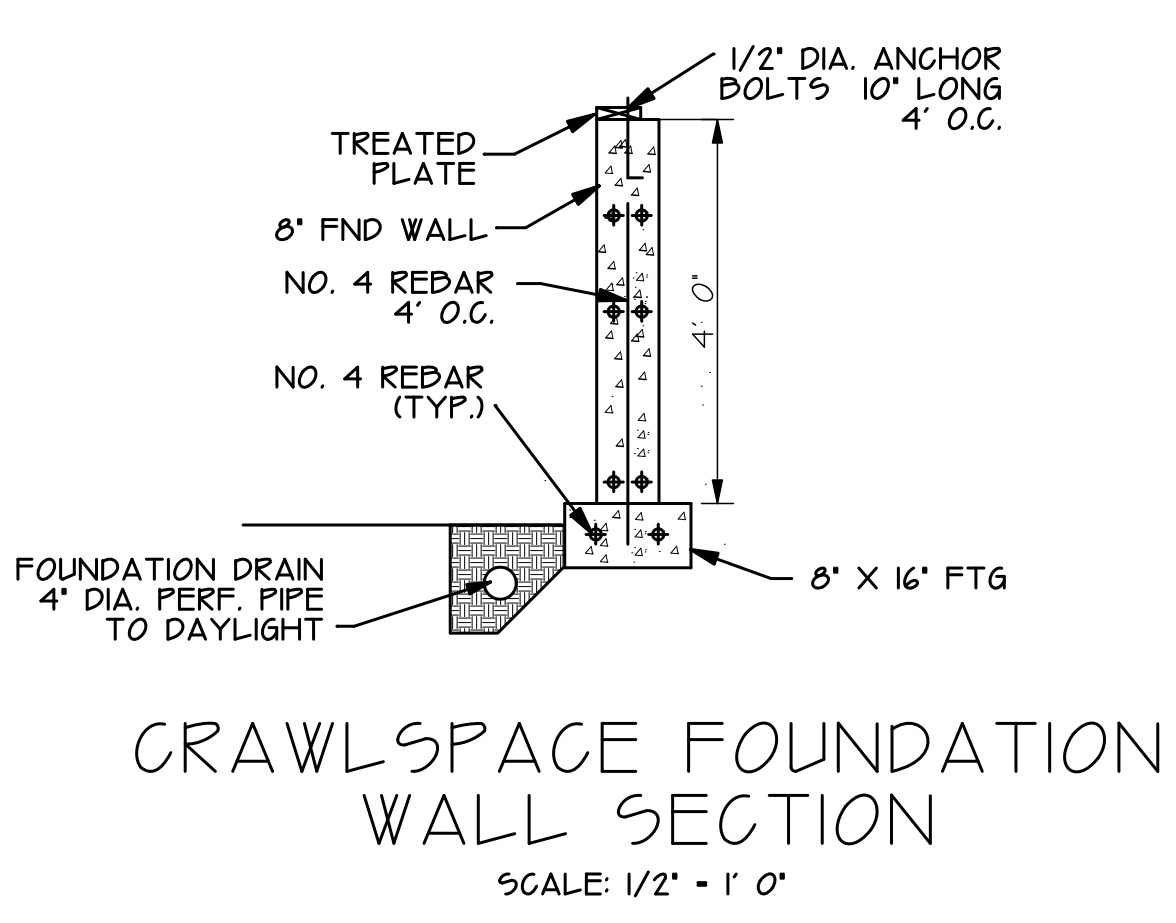
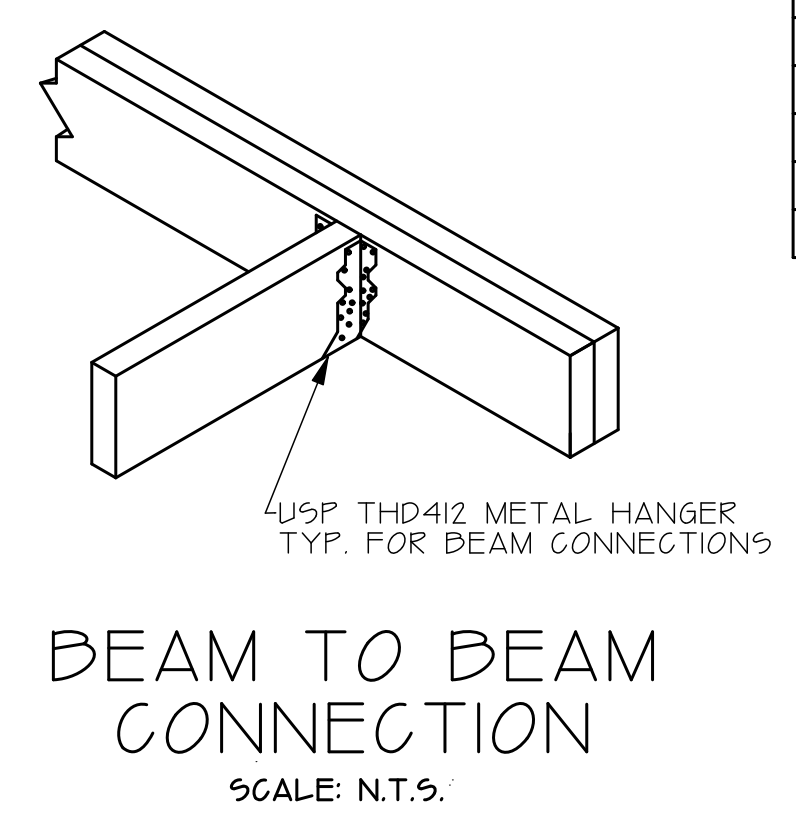
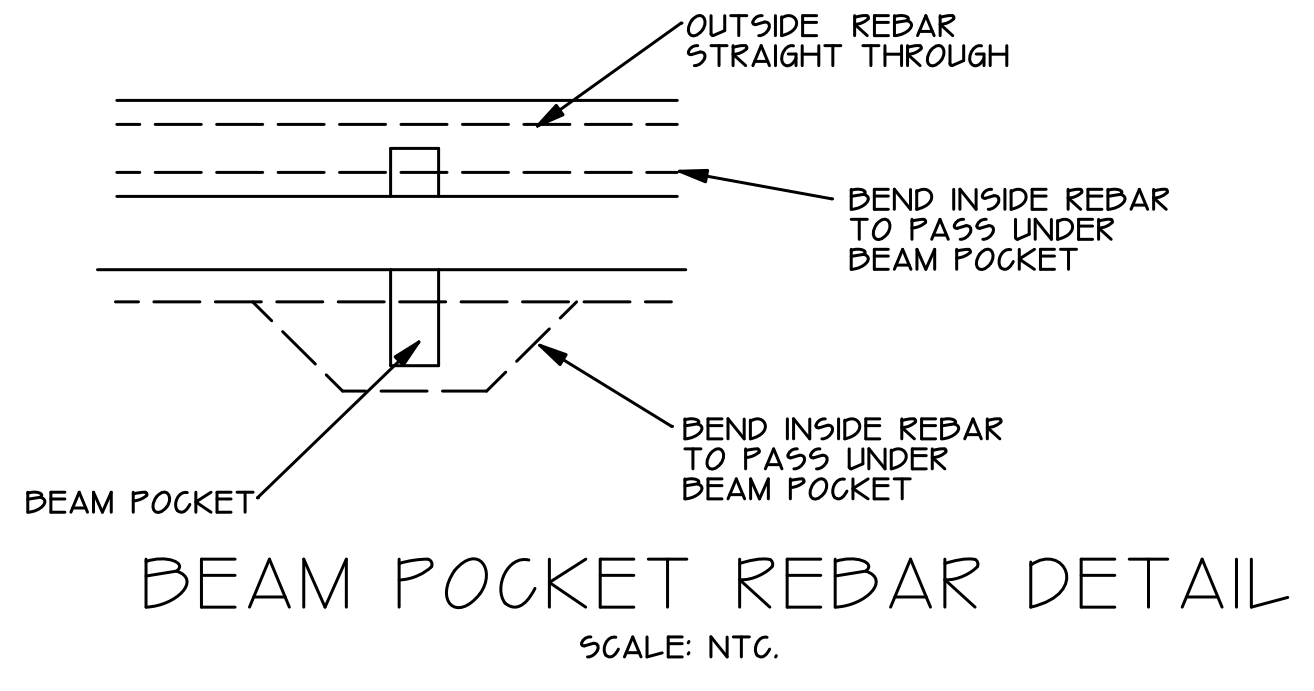
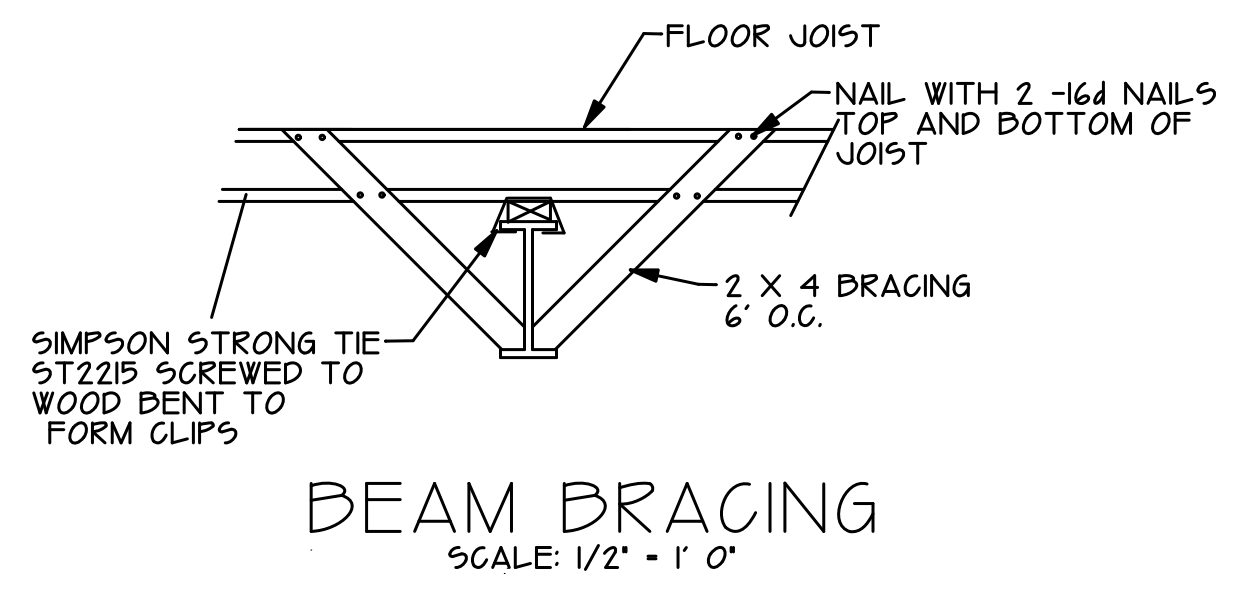
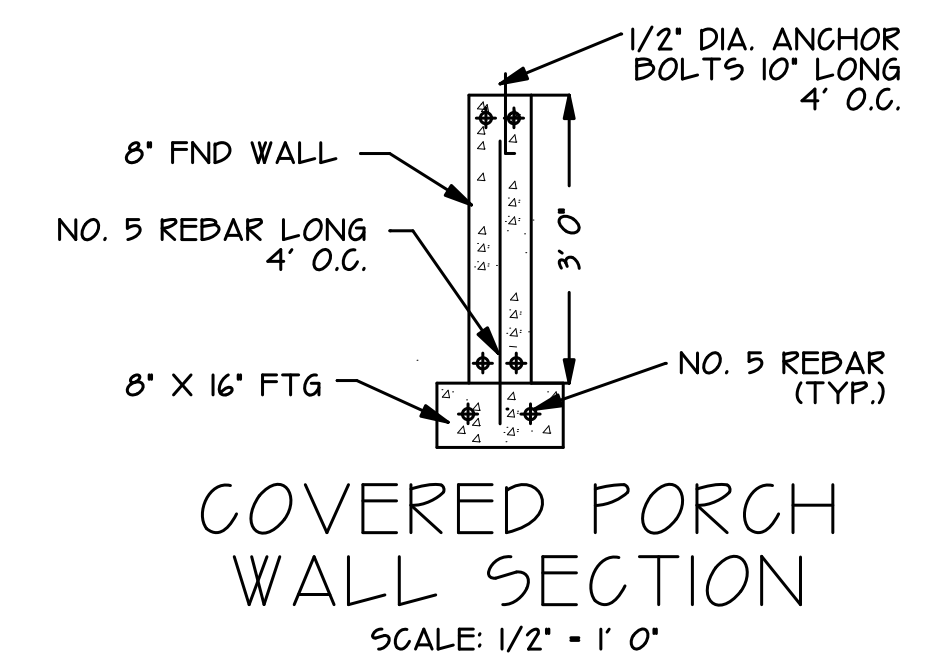
POST LOCATION	
WALL TYPE	POST CONFIGURATION
EXTERIOR WALL	(4) 2 X 6 POST
INTERIOR WALL	(5) 2 X 4 POST

**CRC CONSULTING**  
 1830 IROQUOIS ROAD, PUEBLO, COLORADO  
 PHONE: 719-924-9733

DETAIL PLAN FOR  
 5 SAGEMORE TRAIL  
 BLACKHAWK, COLORADO

DRAWN BY: EF	
CHECKED BY: CRC	
DATE DRAWN: 4.25.20	
SCALE: 1" = 1/4"	
SHEET: 53	OF: 53

# DETAILS



INTERIOR STAIR RAILING  
 SCALE: 1" = 1' 0"

ADJUSTABLE STEEL COLUMN DETAIL  
 SCALE: 1/2" = 1' 0"